

DATE OF MEETING June 17, 2019

AUTHORED BY BRIAN ZUREK, PLANNER, CURRENT PLANNING

**SUBJECT DEVELOPMENT PERMIT APPLICATION NO. DP1114 –
4800 CEDAR RIDGE PLACE**

OVERVIEW

Purpose of Report

To present for Council’s consideration, a development permit application for a 170-unit residential development located at 4800 Cedar Ridge Place.

Recommendation

That Council issue Development Permit DP1114 at 4800 Cedar Ridge Place with the following variances:

- increase the maximum allowable building height for Building A from 14m to 15.75m;
- increase the maximum allowable building height for Building B from 7m to 11.5m;
- increase the maximum allowable building height for Building C from 7m to 10.35m;
- reduce the front yard setback for Building A from 6m to 4.13m;
- increase the height of a retaining wall within the front yard setback from 1.2m to 2.26m; and
- reduce the landscape screening requirements for the proposed refuse receptacles.

BACKGROUND

A development permit application, DP1114, was received from Highstreet Ventures Ltd., on behalf of Uplands Place Developments Ltd., in order to permit the construction of a 170-unit purpose-built rental, multi-family development at 4800 Cedar Ridge Place.

The City previously approved a development permit (DP645) in 2010 for a 97-unit multiple-dwelling residential development within the R8-zoned portion of the subject property, including a four-storey apartment building and townhouses, with variances to building height and parking. Council subsequently renewed the development permit in 2012 and construction commenced on a portion of the building foundation.

The current proposal includes three buildings, including one in a similar footprint as the existing remnant foundation.

Subject Property:

<i>Zoning</i>	R6 - Townhouse Residential R8 – Medium Density Residential
<i>Location</i>	The subject property is located on the northwest side of Long Lake off Rutherford Road.

<i>Total Area</i>	35,878.2m ²
<i>Official Community Plan (OCP)</i>	Map 1 – Future Land Use Plan – Corridor; Map 3 – Development Permit Area No. 5 – Steep Slope Development; Map 3 – Development Permit Area No. 9 - Commercial, Industrial, Institutional, Multiple Family and Mixed Commercial/Residential Development.
<i>Relevant Design Guidelines</i>	General Development Permit Area Design Guidelines Steep Slope Development Permit Area Design Guidelines

The subject property is vacant of buildings and is located in the Long Lake neighbourhood. The site is surrounded by a mix of residential uses (single family dwellings, duplexes, fourplexes, and apartment buildings), commercial services, and recreational amenities. The Grand Hotel (4898 Rutherford Road) and Nanaimo North Town Centre (NNTC) are located west of the subject property; single and multi-family residential developments are located to the north; and Salal Drive and Long Lake Heights are located to the east, with Lakeview Park, a multi-use trail, and Long Lake to the south.

The subject property contains exposed rock and sparse vegetation over shallow soils, with stands of mature forests throughout the site where conditions allow. The steeply sloping topography falls approximately 40m from north to south, offering views of Long Lake and greater Nanaimo, including Mount Benson.

The subject property is within walking distance of transit service, including the VIU express bus, and the NNTC site, which is designated as a Commercial Centre and Mobility Hub in the City's Official Community Plan (OCP) and Transportation Master Plan, respectively.

DISCUSSION

Proposed Development

The applicant proposes 170 residential units in three residential buildings and one common amenity building:

- Building A – 7,752.0m²; 80 units (4 storeys)
- Building B – 4,594.8m²; 48 units (3 storeys)
- Building C – 3,984.0m²; 42 units (3 storeys)
- Building D (Amenity Building) – 318.8m² (2 storeys)

The property is split-zoned R6 (upper and lower portions of the site) and R8 (central portion), which permit a Floor Area Ratio (FAR) of 0.45 and 1.25, respectively. The applicant's proposal includes an FAR of 0.5 for the R6 portion of the lot, and an FAR of 0.90 for the R8 portion of the lot. To obtain the required FAR in the R6 zone, the development will achieve Tier 1 of Schedule D – Amenity Requirements for Additional Density. Examples of amenities that will be provided include:

- Sustainable construction practices, including building materials with high levels of recycled content, and a waste management plan (65% landfill diversion target);

- Building performance targeted to exceed ASHRAE 90.1 2010 Energy Standard by 50% to BuiltGreen standard;
- Solar Photovoltaic arrays on the roofs of the buildings and outdoor covered parking;
- Low-flow fixtures through the buildings;
- Dedicated garden space for residents; and
- Permanent educational signage regarding sustainable construction and energy management practices used on site.

Additional onsite amenities for the residents include fitness and event space, and the purchase of a car-share vehicle for the exclusive use of tenants in the development.

Site Design

The site design integrates the development within the existing hilly topography and natural site features in order to minimize ground and flora alterations. Proposed Buildings B, C, and the amenity building are located on the flattest and least treed areas within the northern (R6-zoned) portion of the site. Proposed Building A is located on the central (R8-zoned) portion of the site, which corresponds roughly to the area of historic site disturbance. The southerly remainder of the slope, below Building A, overlooks Long Lake and drops steeply (more than 20m) to Lakeview Park. To preserve this slope in its natural state, the applicant proposes to voluntarily dedicate this portion of the site (approximately 22%) to the City as parkland as a condition of the Development Permit.

Vehicular access is provided from the end of Cedar Ridge Place, while access to and from Salal Drive will be restricted to emergency vehicles (managed with bollards) to mitigate additional traffic through the adjacent neighbourhood. To satisfy the requirement of an existing covenant registered on the property title, a publicly-accessible connection through the site will be provided along the internal driveway to connect Cedar Ridge Place to Salal Drive. Additional pedestrian pathways are provided between the buildings, parking areas, and amenity spaces to create a walkable, well-connected site for residents.

All of the required parking, including EV charging spaces, short- and long-term bike parking and secure storage are provided on site. Fifty-five percent of the vehicle parking is provided underbuilding.

Building Design

The proposed development is clustered into one four-storey building (Building A) and two three-storey buildings (Buildings B and C), each configured with below-grade parking in order to maximize green space and minimize impermeable surfaces. Building A, being the tallest, is situated downslope to preserve lake views for the buildings above; and the three-storey buildings upslope provide a reduced mass and height to transition to adjacent residences.

The overall unit composition includes a variety of types and sizes:

- 127 one-bedroom units; and
- 43 two-bedroom units.

The buildings incorporate a modern aesthetic with high-quality finishes, such as cement board siding, cultured stone, and heavy timbers. A rhythm of shed roofs, window fenestrations,

balconies, and ground-level decks and patios articulate the roof lines and building massing. The proposed two-storey amenity building is differentiated by a butterfly roof design to complement the residential buildings. This building will contain amenity space for residents and office space for the onsite residential managers.

The developer proposes Buildings B and C in the R6 zone. Ground floor units are oriented towards the internal and common area of the site, with patio doors providing access to individual apartments. The developer proposes ground-oriented elements for each unit, including individual and illuminated pathways, unit numbering, decorative features and materials, and detailed finishings similar to each building's common entrance. Additionally, the proposed landscaping plantings complement the ground-oriented nature of the courtyard units.

The developer proposes residential building designs consistent with Step Three of the BC Building Code, exceeding the energy efficiency standards required by code. The simple building form and detailed design will result in high performance and energy efficiency targeted to meet Built Green Gold or Platinum standards. Attempts to break up the building massing include architectural features and high-quality finishes that do not compromise the energy performance of the building envelope. The developer proposes the community building to be Net Zero, with energy performance consistent with Step Four of the BC Building Code. Additionally, the developer proposes to cover the rooftop of each residential building with solar panels to offset the development's electricity demand.

Landscape Design

The landscape plan has a woodland theme that retains much of the mature vegetation, trees, and rock outcroppings around the perimeter of the site, including the southerly slope. The developer proposes to utilize scale-appropriate trees, and low-growing shrubs and groundcovers to define parking, drive aisles, and amenity areas and to provide screening for neighbours. Seating areas are also placed throughout the site.

A water feature is located on a rock cliff near Building B and adjacent to the main drive aisle. The feature incorporates a native plant palette and bench seating with view opportunities to create a strong site aesthetic and functional storm water management. A rain garden is also proposed southwest of Building A, which complements the adjacent community gardens and a common patio overlooking Long Lake. Gabion baskets of blast rock from the property support the rain garden and preserve the natural character of the slope.

To satisfy the requirements of existing covenants registered on the property title, the developer is required to improve existing public infrastructure supporting active transportation and recreation including:

- construction of an urban hard-surface multi-use trail (over the existing soft-surface trail) with benches and pedestrian-scale lighting along the Lakeview Road frontage;
- frontage improvements along Salal Drive, including road widening, boulevard street trees, and off-set sidewalk; and
- cash-in-lieu for the future construction of a public dock on Long Lake. This contribution will be secured as a condition of the Development Permit.

Design Advisory Panel Recommendations

The Design Advisory Panel, at its meeting held on 2018-OCT-11, accepted DP001114 as presented and provided the following recommendations:

- Consider ways to identify each building individually;
- Consider alternate ways to break the vertical massing on the ends of the buildings (i.e. remove belly bands and add windows to the end walls);
- Reconsider the scale, proportion, and trim colour of the proposed windows to tone down the white detail and trim on the windows to soften the overall appearance and become more responsive to the views;
- Consider the placement of bollards at the Salal Drive access to limit vehicle movement;
- Give consideration to adding points of interest within the site;
- Consider ways to reduce the massing of the underground parking area;
- Consider ways to ensure a wayfinding strategy for the site; and
- Look at ways to reduce the exposure of the underground parking structures.

The applicant has addressed the recommendations of the DAP. Updated architectural drawings propose unique treatments to identify each building, detailing to soften their appearance, and additional openings to capitalize on views from the site. Updated landscaping drawings improve pedestrian amenities and provide additional plantings and rock features to screen exposed foundation walls from view.

Community Consultation

The applicant voluntarily hosted a community open house on 2019-APR-23 to present the project to area residents and respond to questions and concerns. While some participants were supportive of the project, a number of the surrounding neighbours raised concerns. The applicant has engaged residents in multiple meetings and revised the proposed development in response to the following key concerns raised by residents:

1. *Density*

The proposed development of 170 residential units on this site achieves a density of 50 units per hectare (uph), which complies with the OCP's target density (50-150 uph) for development within the Corridor designation. Residential developments in the Corridor designation are encouraged to achieve medium- to high-level densities, generally in two- to six-storey building forms. The proposed development meets the intent of the OCP to support increased residential densities in close proximity to surrounding services, transit, and recreational amenities.

2. *Building Height*

The R6-zoned portion of the site on which Buildings B and C are located has a grade change of approximately 12m, which makes it challenging to construct a townhouse project, including underbuilding parking, without variances to the allowable height. The applicant has revised the initial design of the project to reduce the height variances by raising the grades at the low side of each building and by reducing the interior height of units in Buildings B and C from nine to eight feet.

The applicant also reviewed opportunities to step down the ends of Buildings B and C; however, stepping back the third storey would have compromised the adherence to the proposed energy performance standards. Instead, the developer removed six units from Building C to reduce the overall building size as this building is the closest to adjacent neighbours.

3. *Building Setbacks*

Previous iterations of the proposal included a 3m side yard setback for the end of Building C from the north property line. In response to neighbours' concerns about the proximity to adjacent residences, the developer has increased the setback to 12.72m.

4. *Building Form*

Residents raised concerns about the proposed apartment building form in the R6 zone. While townhouses are permitted in the R6 zone, other forms of low-density development may be considered. In this proposal, a number of site constraints and rationale led to the proposed clustering of the development into three apartment buildings rather than dispersed townhouses or detached units in order to better respond to the site terrain and address the City's Steep Slope Development Permit Area Guidelines. The Zoning Bylaw permits 40% lot coverage in the R6 and R8 zones; the lot coverage of the R6 and R8-zoned buildings is 16% and 22%, respectively.

The development:

- minimizes encroachment into setback areas;
- minimizes the required road network and impermeable surfaces;
- maximizes retention of existing mature trees and vegetation for site aesthetics, buffering to adjacent residences, and storm water management; and
- preserves natural rock outcrops and existing sloped terrain.

To create a more ground-oriented design for the three-storey buildings in the R6 zone, the developer updated the elevations of Buildings B and C with ground-floor units to include elements typical of street-oriented townhomes, and materials consistent with principal entryways. Sliding doors to private ground-floor patio spaces were replaced by front doors and individual walkways to identify individual units and private separate accesses.

5. *Traffic*

In order to mitigate traffic impacts on the existing single-family neighbourhood on Salal Drive, vehicular access to the site will be restricted to Cedar Ridge Place; only emergency vehicle access will be permitted (with removable bollards) from Salal Drive.

Proposed Variances

Building Height

The maximum allowable building height is 7m and 14m in the R6 and R8 zones, respectively. The developer proposes portions of the rooflines to be over-height as follows:

- Building A at 15.75m; a variance of 1.75m
- Building B at 11.5m; a variance of 4.5m
- Building C at 10.35m; a variance of 3.35m

Building height is measured from the average grade of the sloping site at the foundation corners to the top of each building's shed roofs. If the shed roofs were removed, the average height of each building would be reduced by approximately 1.0m; however, the proposed elements add visual interest to each building and break up the mass of each structure.

Additionally, the developer proposes to minimize disturbance of existing rock and mature trees by limiting the amount of surface parking on the site by including underbuilding parking in each residential structure. With a limited footprint and underbuilding parking, the developer proposes to achieve the project density by constructing over-height buildings. Due to the orientation of the proposed buildings, the steeply-sloping topography, and the existing trees on the site, the proposed buildings would not limit views of Long Lake from the surrounding properties.

Front Yard Setback

The minimum required front yard setback in the R8 zone is 6m. The developer proposes Building A in the Salal Drive front yard setback at 4.13m; a variance of 1.87m. In order to reduce the size of Building C, four units were relocated to Building A, thereby increasing the length of the building. The developer chose not to extend the building to the west to avoid negatively impacting steeply-sloping terrain. The developer proposes plantings along the face of Building A facing Salal Drive that soften the edge of the building and provide a vegetated transition from public to private space.

Retaining Wall Height

The maximum height of a structure in a front yard, including a retaining wall, is 1.2m. The developer proposes a retaining wall in the front yard of Building A (along Salal Drive) at 2.26m; a variance of 1.06m. The wall is proposed to retain the driveway into the underbuilding parkade. Additionally, the structure is proposed to be constructed of gabion rock reclaimed from site-blasting activities.

Landscaping Regulations

The "City of Nanaimo Zoning Bylaw 2011 No. 4500" requires that utility kiosks, dumpsters, containers, and similar large receptacles be fully screened on three sides by masonry walls and landscaping. The proposed development does not include masonry walls surrounding its refuse receptacles, but will include landscaping.

Typically, refuse receptacles are dumpsters or garbage bins where permanent screening is desired. The proposed development will include a partially below-grade waste container and disposal system. The container design will eliminate the need for masonry walls. Landscaping will screen the receptacles from the buildings and from common areas of the site.

Staff support the proposed variances.

SUMMARY POINTS

- Development Permit Application No. DP1114 proposes a 170-unit purpose-built rental residential development at 4800 Cedar Ridge Place.
- The OCP Corridor designation supports the proposed development density and multi-storey building form and densification in this location near a range of services, transit, and recreational amenities.
- The proposed development complies with the intent of the Development Permit Area Design Guidelines.
- Staff support the proposed variances to building height, front yard setback, retaining wall height, and landscape screening.

ATTACHMENTS

ATTACHMENT A: Permit Terms and Conditions
ATTACHMENT B: Location Plan
ATTACHMENT C: Site Plans and Sections
ATTACHMENT D: Building Elevations
ATTACHMENT E: Building Renderings
ATTACHMENT F: Landscape Plan and Details
ATTACHMENT G: Schedule D – Amenity Requirements for Additional Density
ATTACHMENT H: Aerial Photo

Submitted by:

L. Rowett, Manager
Current Planning

Concurrence by:

D. Lindsay, Director
Community Development

ATTACHMENT A PERMIT TERMS AND CONDITIONS

TERMS OF PERMIT

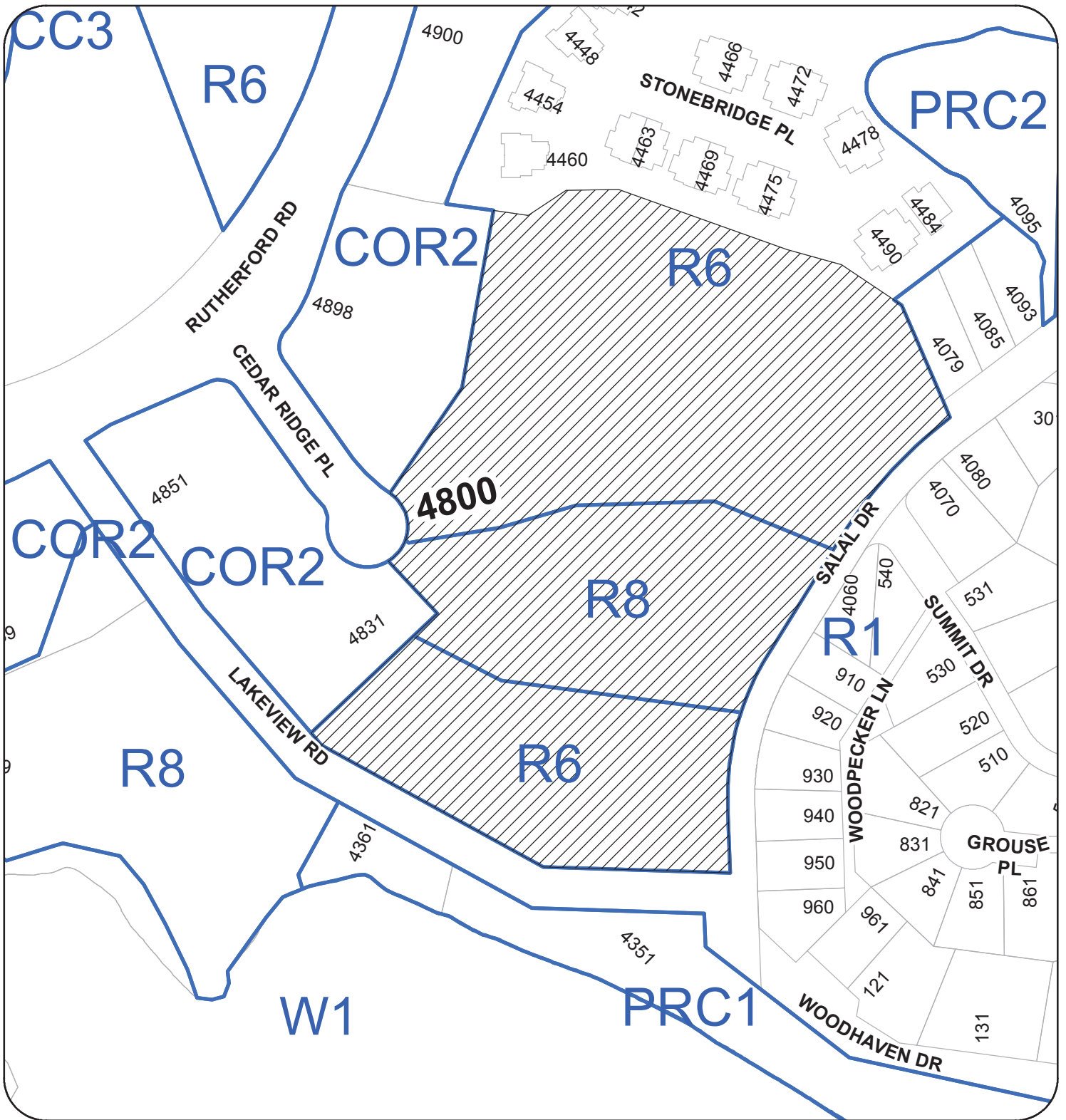
The “City of Nanaimo Zoning Bylaw 2011 No. 4500” is varied as follows:

- *Section 6.10.2 Fence Height* – to increase the maximum allowable height for retaining walls from 1.2m to 2.26m in the front yard setback.
- *Section 7.5.1 Siting of Buildings* – to reduce the minimum required front yard setback for Building A from 6m to 4.13m.
- *Section 7.6.1 Size of Buildings* – to increase the maximum allowable building heights as follows:
 - Building A – from 14m to 15.75m;
 - Building B – from 7m to 11.5m; and
 - Building C – from 7m to 10.35m.
- *Section 17.3.3.1 Slopes, Urban Plazas, and Refuse Receptacles* – to reduce the landscape screening requirement for the proposed refuse receptacles to eliminate the requirement for masonry walls.

CONDITIONS OF PERMIT

1. The subject property is developed in accordance with the Site Plans and Sections prepared by WD FISHER ARCHITECT, dated 2019-MAY-07 as shown on Attachment C.
2. The subject property is developed in substantial compliance with the Building Elevations prepared by WD FISHER ARCHITECT, dated 2019-MAY-07 and 2019-MAY-30 as shown on Attachment D.
3. The subject property is developed in substantial compliance with the Landscape Plan and Details prepared by WSP LANDSCAPE ARCHITECTURE, dated 2019-MAY-08 as shown on Attachment F.
4. The subject property is developed in accordance with Schedule D – Amenity Requirements for Additional Density dated 2019-MAY-24 as outlined in Attachment G.
5. The provision of park dedication prior to building permit issuance and consisting of approximately 7,950m² of the lower R6-zoned portion of the site generally as shown on the Site Plans as shown In Attachment C.

ATTACHMENT B
LOCATION PLAN



DEVELOPMENT PERMIT NO. DP001114

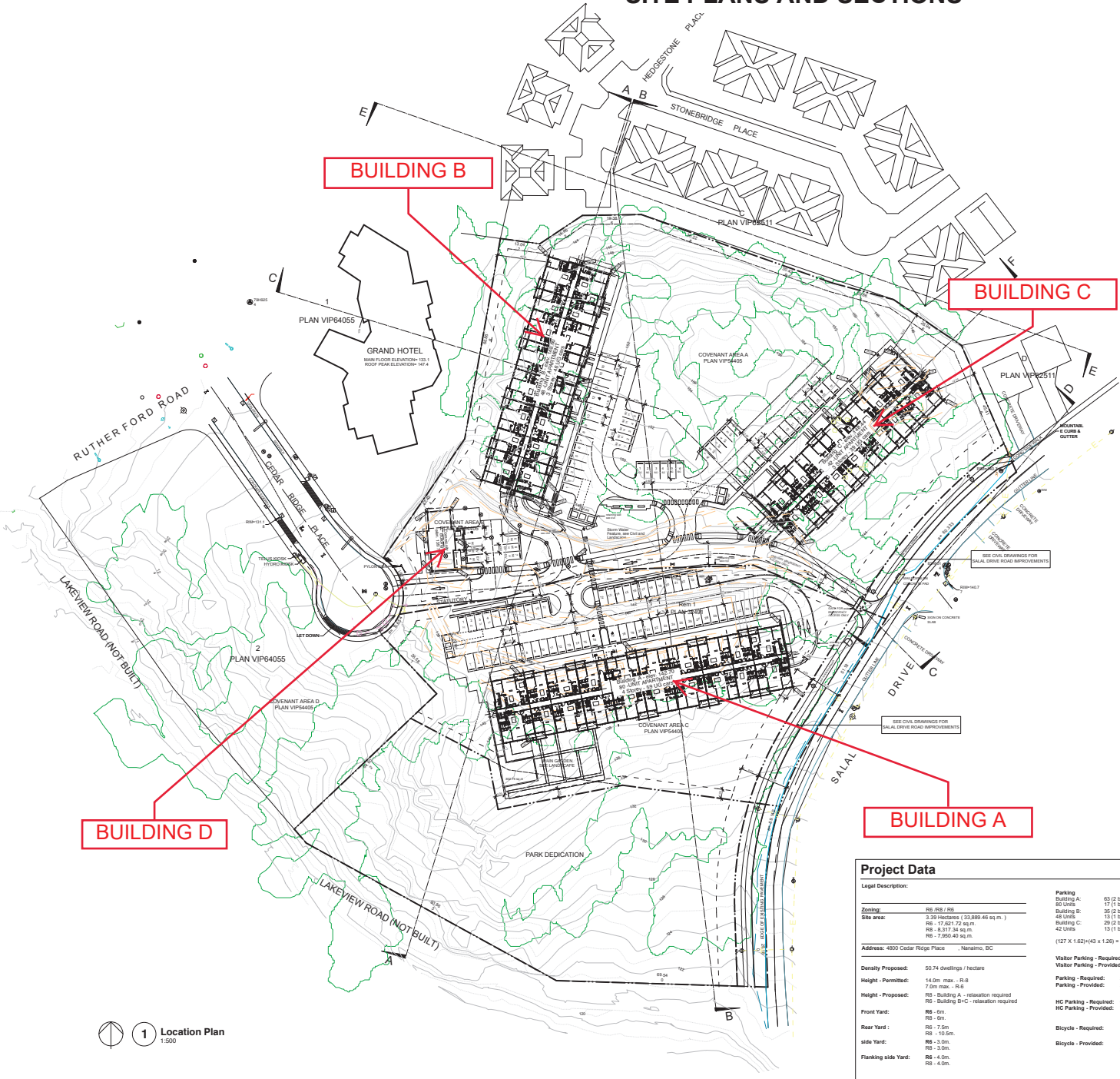
LOCATION PLAN

Civic: 4800 CEDAR RIDGE PLACE
Legal Description: LOT 1, DISTRICT LOT 17
WELLINGTON DISTRICT, PLAN 32491
EXCEPT PART IN PLANS 37954, VIP62511 AND VIP64055



 Subject Property

ATTACHMENT C SITE PLANS AND SECTIONS



B.C. Building Code (2018) Analysis

Building A, Building B + Building C - PART 3

Occupancy Classification Group C-2.2.5.3, up to 6 Storeys, permitted
Group C-2.2.5.3, up to 3 Storeys, Overhead
Group C-2.2.5.3, up to 3 Storeys, Overhead
Group C-2.2.5.3, up to 3 Storeys, Overhead

The Garage Group is considered a separate structure under Clause 3.2.2.3 Storage Garage Considered as a Separate Building
2.5 m vertical from the building above by a 2-hour horizontal separation, and all penetrations by building services shall conform to clause 3.1.3.1 "Fire Stopping of Service Penetrations"

Number of Streets 1 street

Number of Storeys 4 floors
3 storeys - 3000 sq.m. / 4 storeys - 2550 sq.m. (max. permitted)

Building Area Combustible Group C on Noncombustible F

Construction Floors: 1 floor
Load bearing walls, columns and arches: 1 hour

Assemblies Installed to NFPA 13R 2013

Sprinkler System Required as per 3.2.4.1
Standpipe is required as per 3.2.5.8

Fire Alarm / Detection Systems Provided as per 3.2.7.

Lighting + Emergency Power Systems Provided as per 3.2.7.

Requirement for Exits Every floor is served by not less than 2 exits (3.2.1.1)
Minimum travel distance to an exit is 6 m. 3.2.2.1.03
Minimum width for Exit Corridors, Passageways, Placards, Stairs and Corridors: 1000mm, 800mm for stairs (Table 3.2.2.1)

Fire Separation of Rules Residential units to be separated from each other and the remainder of the Building by a Fire Separation having a fire-resistance rating of not less than 1 hour. 3.3.4.2.1

Spatial Separation - Building A

Building Elevation	East	North	West	South	Code Reference
Area Exposed Building Face	294 sq.m.	195sq.m.	294 sq.m.	195 sq.m.	
Area of Unprotected Openings	287 sq.m.	187 sq.m.	287 sq.m.	187 sq.m.	
Limiting Distance	100%	100%	100%	100%	Table 3.2.3.1.0
permitted % unprotected openings	100%	100%	100%	100%	Table 3.2.3.1.0
actual % unprotected openings	97%	97%	97%	97%	
Wall Rating Required	45 min.	45 min.	45 min.	45 min.	Table 3.2.3.1
Combustible/Noncombustible Wall	combustible	combustible	combustible	combustible	Table 3.2.3.1
Combustible/Noncombustible Cladding	combustible	combustible	combustible	combustible	Table 3.2.3.1

Spatial Separation - Building B

Building Elevation	North	East	South	West	Code Reference
Area Exposed Building Face	2211.6 sq.m.	875 sq.m.	2211.6 sq.m.	888 sq.m.	
Area of Unprotected Openings	810 sq.m.	293 sq.m.	810 sq.m.	181 sq.m.	
Limiting Distance	100%	100%	100%	100%	Table 3.2.3.1.0
permitted % unprotected openings	100%	100%	100%	100%	Table 3.2.3.1.0
actual % unprotected openings	37%	33%	37%	20%	
Wall Rating Required	45 min.	45 min.	45 min.	45 min.	Table 3.2.3.1
Combustible/Noncombustible Wall	combustible	combustible	combustible	combustible	Table 3.2.3.1
Combustible/Noncombustible Cladding	combustible	combustible	combustible	combustible	Table 3.2.3.1

Spatial Separation - Building C

Building Elevation	Northwest	North	South	Code Reference
Area Exposed Building Face	2211.6 sq.m.	1014 sq.m.	1014 sq.m.	
Area of Unprotected Openings	223 sq.m.	877 sq.m.	877 sq.m.	
Limiting Distance	100%	100%	100%	Table 3.2.3.1.0
permitted % unprotected openings	100%	100%	100%	Table 3.2.3.1.0
actual % unprotected openings	38%	86%	86%	
Wall Rating Required	45 min.	45 min.	45 min.	Table 3.2.3.1
Combustible/Noncombustible Wall	combustible	combustible	combustible	Table 3.2.3.1
Combustible/Noncombustible Cladding	combustible	combustible	combustible	Table 3.2.3.1

B.C. Building Code (2018) Analysis

Building D - PART 3

Occupancy Classification Group C-2.2.5.3, up to 3 Storeys
Residential Care

Number of Streets 1 street

Number of Storeys 2 floors

Building Area 158.4 sq.m. (max. permitted - 500 sq.m.)

Construction Floors: 45 min.
Load bearing walls, columns and arches: 45 min.

Spatial Separation - Building D

Building Elevation	East	South	West	North	Code Reference
Area Exposed Building Face	22.4 sq.m.	62.4 sq.m.	22.4 sq.m.	24 sq.m.	
Area of Unprotected Openings	14.25 sq.m.	10.45 sq.m.	14.25 sq.m.	4.0 sq.m.	
Limiting Distance	100%	100%	100%	100%	Table 3.2.3.1.0
permitted % unprotected openings	100%	100%	100%	100%	Table 3.2.3.1.0
actual % unprotected openings	28%	16.4%	28%	16.3%	
Wall Rating Required	45 min.	45 min.	45 min.	45 min.	Table 3.2.3.1
Combustible/Noncombustible Wall	combustible	combustible	combustible	combustible	Table 3.2.3.1
Combustible/Noncombustible Cladding	combustible	combustible	combustible	combustible	Table 3.2.3.1

Level 2 EV Charging Stalls for 280 Required Parking Spaces

Area	EV Charging stalls	Future EV Charging stalls
Building A	0*	0
Building B	0*	12
Building C	0*	12
Building D - Community Building	4	0
Total	28	24

* EV Charging Stalls to be Located in Respective Building Parkades

Project Data

Legal Description: [Blank]

Zoning: RS-IRB / RS

Site area: 3.39 Hectares (133,889.46 sq.m.)
RS - 17,621.72 sq.m.
RS - 8,317.34 sq.m.
RS - 7,550.40 sq.m.

Address: 4800 Cedar Ridge Place - Nanaimo, BC

Density Proposed: 50.74 dwellings / hectare

Height - Permitted: 14.0m max. - R-8
7.5m max. - R-6

Height - Proposed: RS - Building A - relaxation required
RS - Building B-C - relaxation required

Front Yard: RS - 6m
RS - 7.5m
RS - 10.5m

Rear Yard: RS - 3.0m
RS - 3.0m

side Yard: RS - 4.0m
RS - 4.0m

Flanking side Yard: RS - 4.0m
RS - 4.0m

Parking - Required: 63 (2 bedroom)
17 (1 bedroom)
35 (2 bedroom)
48 Units
29 (2 bedroom)
42 Units
(127 X 1.62(143 x 136) + 259.92 spaces)

Visitor Parking - Required: 259.92 / 22 = 11.8 spaces (rounded)
Visitor Parking - Provided: 12 spaces (indicated)

Parking - Required: 260 spaces
Parking - Provided: 200 spaces (116 surface / 144 underground)

HC Parking - Required: 6 spaces
HC Parking - Provided: 7 spaces (5 surface / 2 underground)

Bicycle - Required: 170 x 0.5 = 85 long term
170 x 0.1 = 17 short term

Bicycle - Provided: 144 long term
20 short term

Building Areas:
Building A: Ground floor: 20,860 sq.ft (1,938.0 sq.m.)
2nd floor: 20,860 sq.ft
3rd floor: 20,860 sq.ft
4th floor: 20,860 sq.ft
Total: 83,440 sq.ft (7,752.0 sq.m.)
Building B: Ground floor: 16,488 sq.ft (1,531.6 sq.m.)
2nd floor: 16,488 sq.ft
3rd floor: 16,488 sq.ft (4,594.8 sq.m.)
Building C: Ground floor: 14,234.5 sq.ft (1,328.0 sq.m.)
2nd floor: 14,234.5 sq.ft
3rd floor: 14,234.5 sq.ft (3,984.0 sq.m.)
Total: 42,983.5 sq.ft (3,984.0 sq.m.)
Community Building: 3,432.4 sq.ft (318.8 sq.m. - 2 floors)

Building Foot Prints: 4,957.0 sq.m.
Total Site Coverage: 14.62%

F.A.R.: RS (8,897.6 sq.m. + 17,621.72 sq.m.) = 0.50 (maximum permitted 0.45)
RS (7,752.0 sq.m. + 8,320.96 sq.m.) = 0.899 (maximum permitted 1.25)
RS (0 sq.m. + 7,647.65 sq.m.) = 0.00 (maximum permitted 0.45)x

Codes & Standards:
Conform to latest edition
BC Building Code
Occupancy Classification
Group C-2.2.5.3, up to 3 Storeys, Overhead
Group C-2.2.5.3, up to 3 Storeys, Overhead
Group C-2.2.5.3, up to 3 Storeys, Overhead
Group C-2.2.5.3, up to 3 Storeys, Overhead

notes:

Date	By	Description
11 May 2019	DP	Re-submission
10 Apr 11 2019	Revised	Final Assessment
9 Feb 2019	Revised	For DP
8 Jan 11 2019	Issued for	Tender
7 Nov 29 2018	BP	Application
6 Nov 01 2018	Review	
5 Nov 07 2018	Review	
4 Sept 14 2018	Revised	DP Application
3 Sept 4 2018	DP	Application
2 Aug 28 2018	DP	Review
1 April 15 2018	Review	

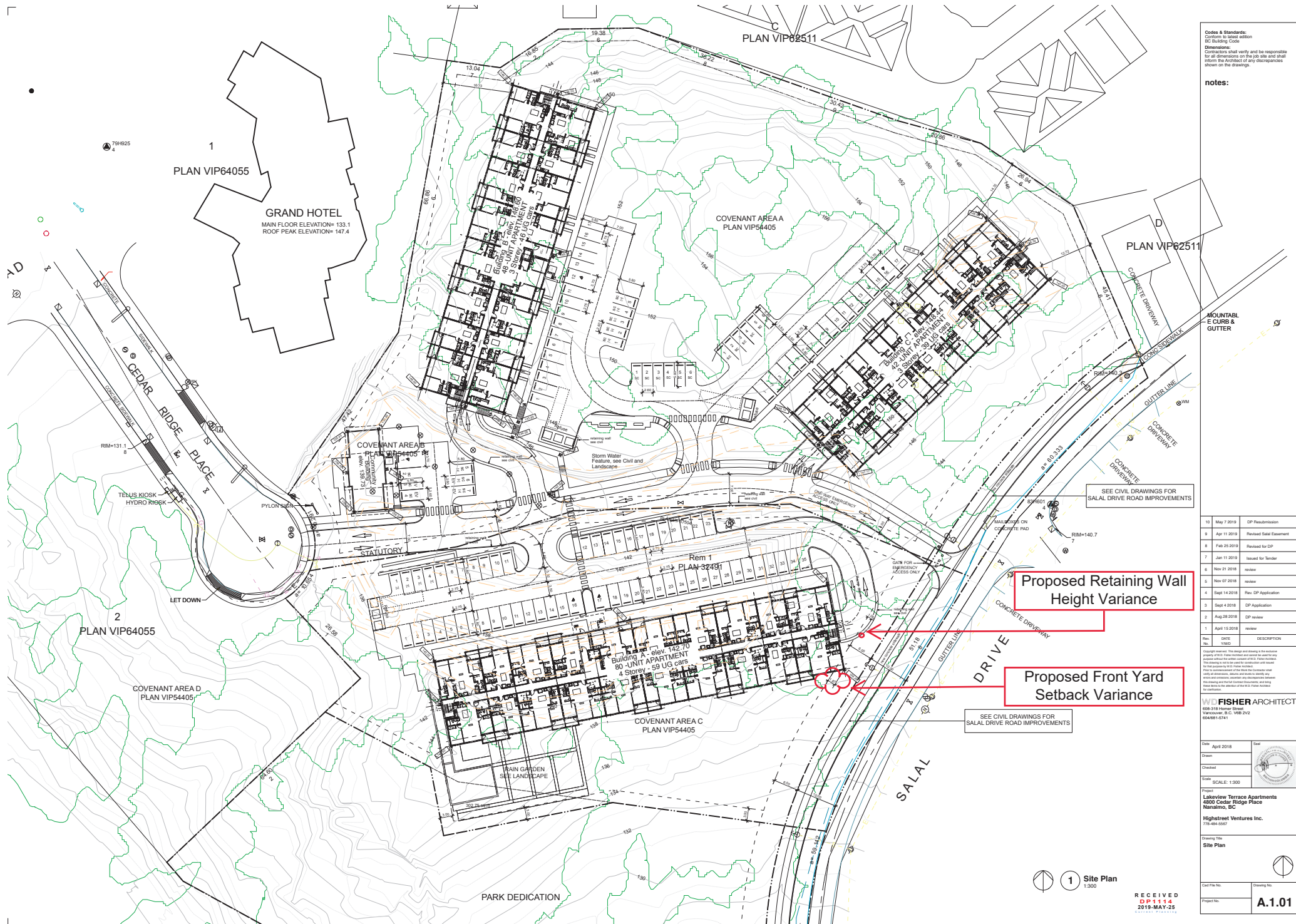
FISHER ARCHITECT
608-1016 Street
Vancouver, B.C. V6B 2V2
604-681-0741

DATE: April 2018
SCALE: 1:500

**Lakeview Terrace Apartments
4800 Cedar Ridge Place
Nanaimo, BC
Highstreet Ventures Inc.
778-484-5567**

Project No.: A.1.00

1 Location Plan
1:500



Codes & Standards:
 Conform to latest edition
 BC Building Code
Dimensions:
 Contractors shall verify and be responsible for all dimensions on the job site and shall inform the Architect of any discrepancies shown on the drawings.

notes:

Rev. No.	DATE	DESCRIPTION
10	May 7 2019	DP Resubmission
9	Apr 11 2019	Revised Subal Easement
8	Feb 25 2019	Revised for DP
7	Jan 11 2019	Issued for Tender
6	Nov 21 2018	Review
5	Nov 07 2018	Review
4	Sept 14 2018	Rev. DP Application
3	Sept 4 2018	DP Application
2	Aug 28 2018	DP Review
1	April 15 2018	Review

Proposed Retaining Wall Height Variance

Proposed Front Yard Setback Variance

Rev. No.	DATE	DESCRIPTION
10	May 7 2019	DP Resubmission
9	Apr 11 2019	Revised Subal Easement
8	Feb 25 2019	Revised for DP
7	Jan 11 2019	Issued for Tender
6	Nov 21 2018	Review
5	Nov 07 2018	Review
4	Sept 14 2018	Rev. DP Application
3	Sept 4 2018	DP Application
2	Aug 28 2018	DP Review
1	April 15 2018	Review

FISHER ARCHITECT
 608-114-0100
 Vancouver, B.C. V6B 2V2
 044661-0141

Date	Scale
April 2018	1:300

Lakeview Terrace Apartments
 4800 Cedar Ridge Place
 Nanaimo, BC
Hightstreet Ventures Inc.
 778-484-5557

Drawing Title:
Site Plan

Sheet File No. _____ Drawing No. _____
 Project No. _____ **A.1.01**

1 Site Plan
 1:300

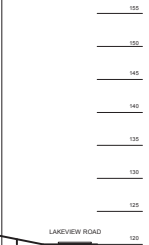
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DP 1114
 2019-MAY-25

SITE SECTIONS

Codes & Standards:
 Conform to latest edition
 BC Building Code
Dimensions:
 Contractors shall verify and be responsible
 for all dimensions on the job site and shall
 inform the Architect of any discrepancies
 shown on the drawings.

notes:

STONEBRIDGE PLACE



9	May 7 2019	DP ReSubmission
8	Apr 5 2019	Rev for city comments
7	Jan 11 2019	Issued for Tender
6	Nov 29 2018	BP Application
5	Nov 01 2018	review
4	Nov 07 2018	review
3	Sept 14 2018	Rev DP Application
2	Sept 4 2018	DP Application
1	April 15 2018	review

Rev. No.	DATE	DESCRIPTION
1	APR 15 2018	review

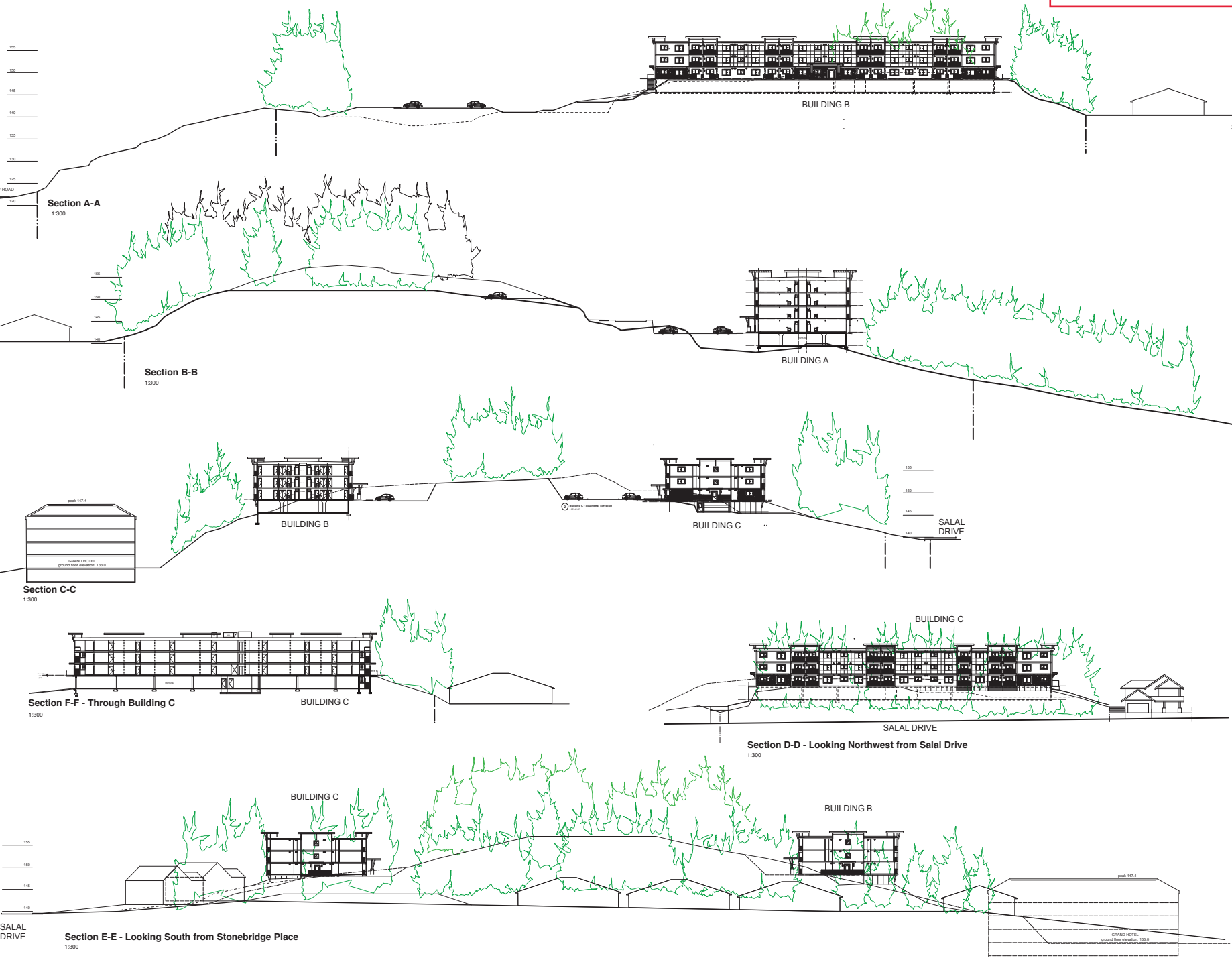
FISHER ARCHITECT
 608-318 Huxford Street
 Vancouver, B.C. V6B 2V2
 604681-5741

Date	April 2018	Scale	SCALE: 1:300
Drawn			
Checked			

Project:
Lakeview Terrace Apartments
 4820 Cedar Ridge Place
 Nanaimo, BC
 Highestventures Inc.
 775-484-5507

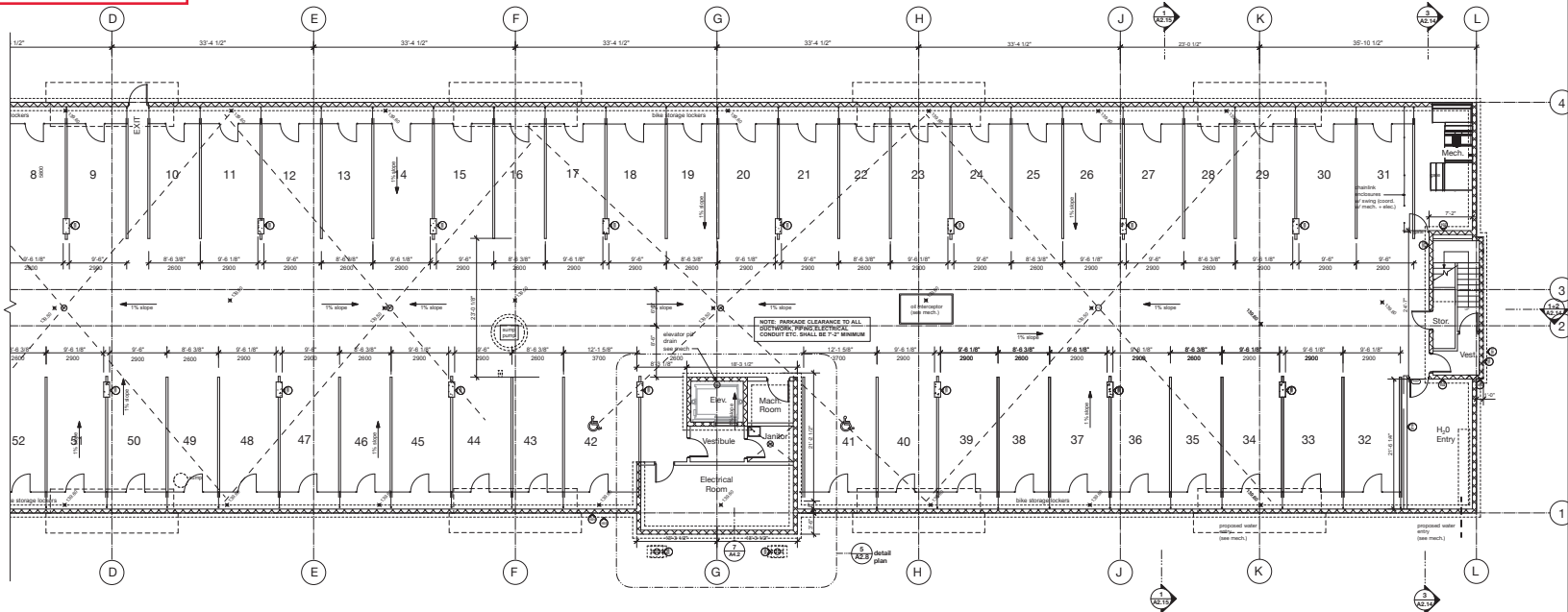
Drawing Title:
Site Sections

Chief File No.	Drawing No.
Project No.	A.1.02

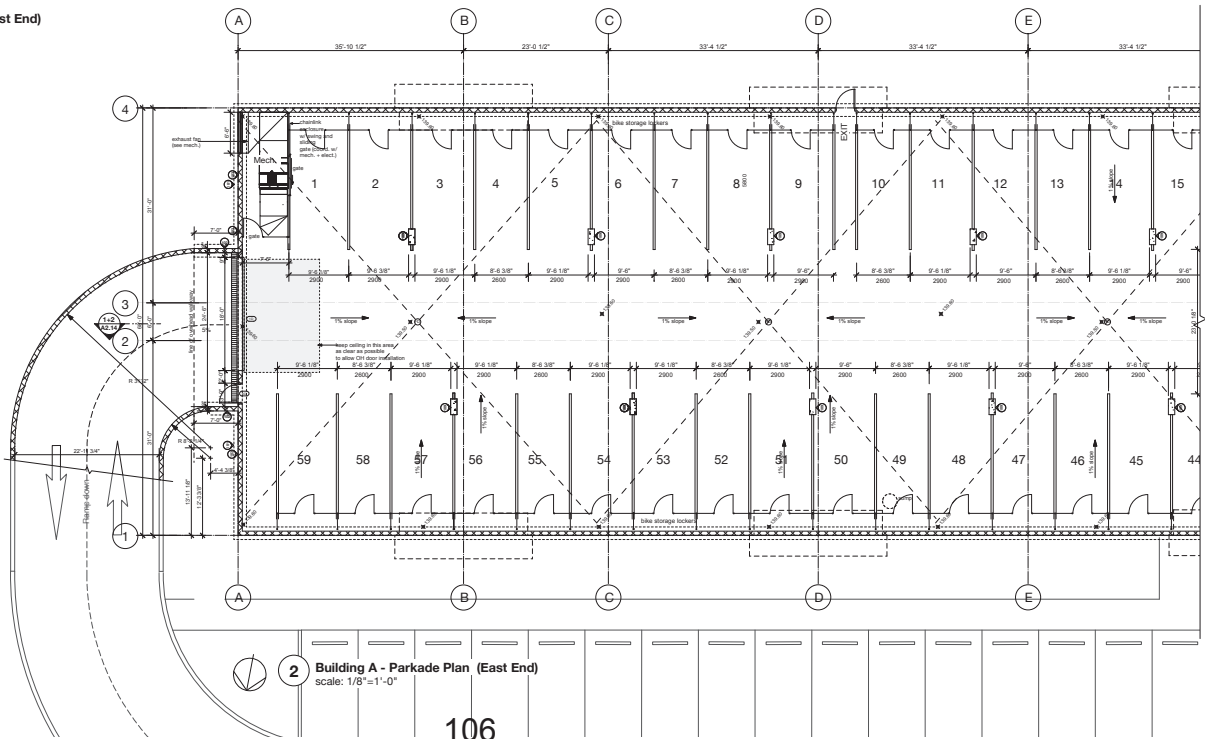


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 2019-MAY-09

BUILDING A - PARKADE



1 Building A - Parkade Plan (West End)
scale: 1/8"=1'-0"



2 Building A - Parkade Plan (East End)
scale: 1/8"=1'-0"

Code & Standards:
Conform to latest edition
BC Building Code
Dimensions:
Contractors shall verify and be responsible
for all dimensions on the job site and shall
inform the Architect of any discrepancies
shown on the drawings.

notes:
DIMENSIONS:
Dimensions are to framing unless
otherwise indicated.

Rev.	DATE	DESCRIPTION
10	May 07 2019	DP Re-submission
9	Jan 11 2019	Issued for Tender
8	Nov 20 2018	BP Application
7	Nov 21 2018	review
6	Nov 20 2018	coordination
5	Nov 07 2018	review
4	Sept 14 2018	Rev DP Application
3	Sept 4 2018	DP Application
2	July 13 2018	client review
1	Aug 10 2018	client review

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W.F. FISHER ARCHITECT
605-118 Renner Street
Vancouver, B.C. V6B 2V2
604-681-9341

Date: Aug 10, 2018
Drawn: [Signature]
Checked: [Signature]
Scale:

Project:
Lakeview Terrace Apartments
4800 Cedar Ridge Place
Nanaimo, BC

Client:
Highstreet Ventures Inc.
178-464-6247

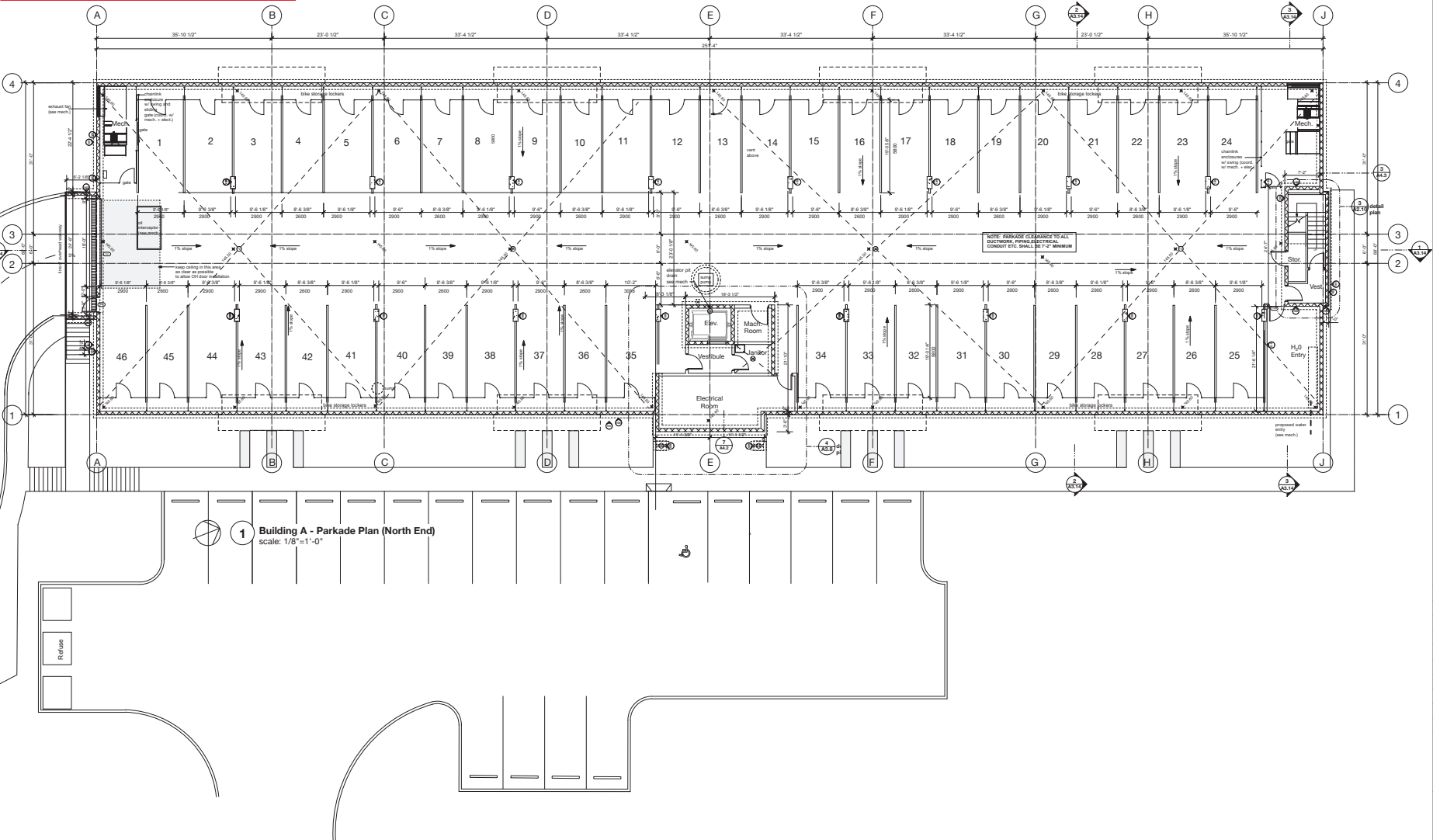
**Building A
Parkade Plan**

Sheet File No. [] Drawing No. **A02.0**

Project No. []

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2019-MAY-09

BUILDING B - PARKADE



Codes & Standards:
 Conform to latest edition
 BC Building Code
Dimensions:
 Contractors shall verify and be responsible for all dimensions on the job site and shall inform the Architect of any discrepancies shown on the drawings.

notes:
 DIMENSIONS:
 Dimensions are to framing unless otherwise indicated.

9	May 07 2019	DP Final/submit
8	Feb 25 2019	Revised for DP
7	Jan 11 2019	Issued for Tender
6	Nov 28 2018	BP Application
5	Nov 21 2018	review
4	Nov 07 2018	review
3	Sept 14 2018	Rev DP application
2	Sept 4 2018	DP Application
1	July 10 2018	review

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 460-118 Renfrew Street
 Vancouver, B.C. V6B 2V2
 604-681-8741

Date	July 2018	Seal
Drawn		
Checked		
Scale		

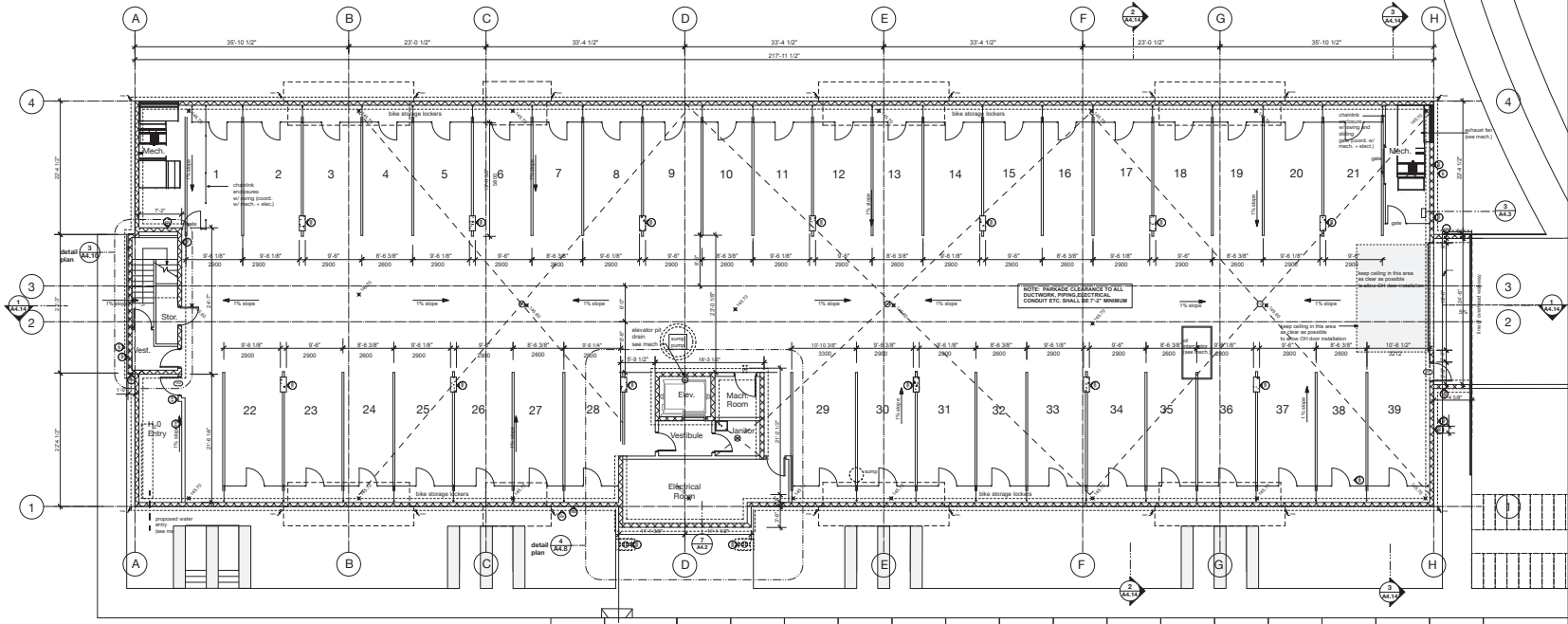
Project:
Lakeview Terrace Apartments
 4800 Cedar Ridge Place
 Nanaimo, BC
 Highstreet Ventures Inc.
 178-864-0507

Building B
Parkade Plan

Sheet No.	A03.0
Project No.	

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 2019-MAY-09

BUILDING C - PARKADE



1 Building C - Parkade Plan
scale: 1/8"=1'-0"

Code & Standards:
 Conform to latest edition
 BC Building Code
Dimensions:
 Contractors shall verify and be responsible
 for all dimensions on the job site and shall
 inform the Architect of any discrepancies
 shown on the drawings.

notes:
 DIMENSIONS:
 Dimensions are to framing unless
 otherwise indicated.

DATE	DESCRIPTION
9 May 07 2019	DP Reapplication
8 Feb 25 2019	Revised for DP
7 Jan 11 2019	Issued for Tender
6 Nov 28 2018	BP Application
5 Nov 21 2018	review
4 Nov 07 2018	review
3 Sept 14 2018	Rev DP Application
2 Sept 4 2018	DP Application
1 July 10 2018	client review

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 605-1188 Riverside Street
 Vancouver, B.C. V6B 2V2
 604-681-8741

Date	July 2018	Seal
Drawn		
Checked	4	
Scale		

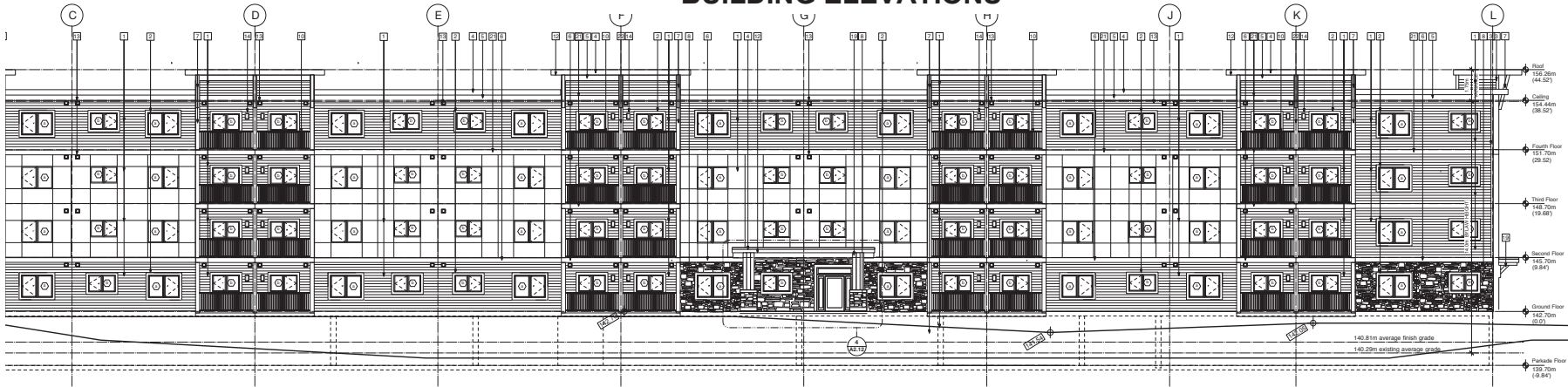
Project:
Lakeview Terrace Apartments
 4800 Cedar Ridge Place
 Nanaimo, BC
 Highstreet Ventures Inc.
 178-464-0047

**Building C
 Parkade Plan**

Sheet No.	A04.0
Project No.	

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 2019-MAY-09

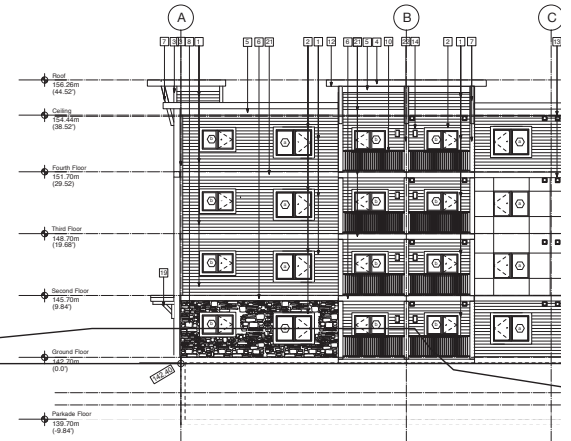
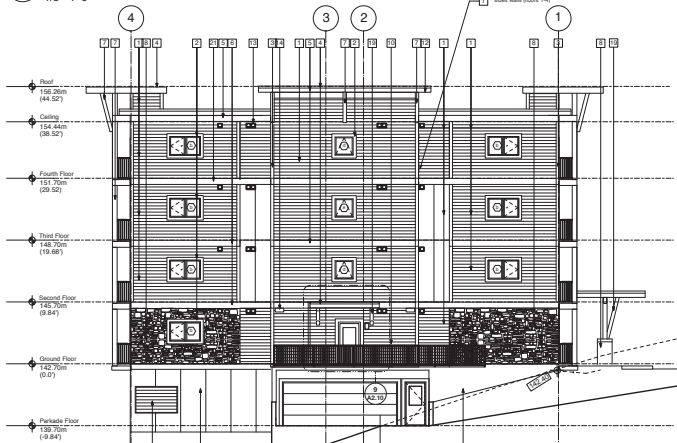
ATTACHMENT D BUILDING ELEVATIONS



Codes & Standards:
 Compliance to latest edition
 BC Building Code
Dimensions:
 Contractors shall verify and be responsible
 for all dimensions on the job site and shall
 inform the Architect of any discrepancies
 shown on the drawings.

notes:

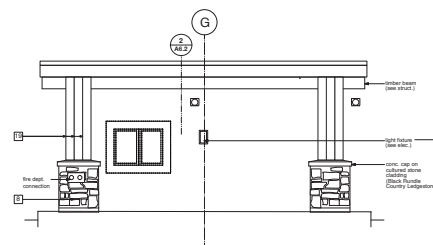
1 Building A - North Elevation - West End
 1/8"=1'-0"



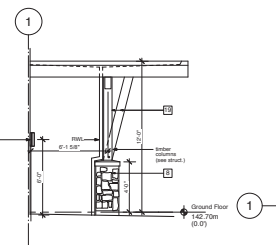
2 Building A - North Elevation - East End
 1/8"=1'-0"

3 Building A - East Elevation
 1/8"=1'-0"

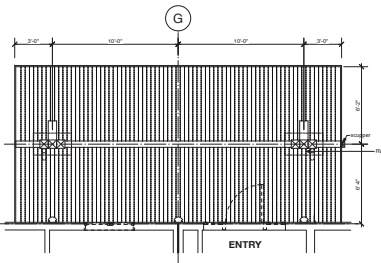
- Exterior Finishes Materials Legend**
- 1 CEMENT BOARD SIDING - (refer to A02.12.1 for products / colours)
 - 2 TRIM BOARDS (windows) 1"x6" - "SMART-SIDE" TRIM - BLACK
 - 3 TRIM BOARDS (vertical) 1"x6" - "SMART-SIDE" TRIM - SNOW
 - 4 TRIM BOARDS (horizontal) 1"x12" - "SMART-SIDE" TRIM - SNOW
 - 5 TRIM BOARDS (horizontal) 1"x12" - "SMART-SIDE" TRIM - BENJAMIN MOORE "Amberst Gray"
 - 6 GLAD COLUMNS and KNEE BRACE - "SMART-SIDE" TRIM - SNOW
 - 7 CULTURED STONE - BLACK RUNDLE - ALPINE LEDGESTONE
 - 8 HANDWATER FLOODERS - PRE-FINISHED ALUMINUM - WHITE
 - 9 RAILINGS - PRE-FINISHED ALUMINUM - BLACK
 - 10 SBS ROOF - DARK GREY
 - 11 ROOF SOFFITS - ALLURANON-PERFORATED - CEDAR
 - 12 MECHANICAL VENT (REV) Snow White in white-clad finish; #23 Grey elsewhere) - see match.
 - 13 WALL MOUNTED LUMINAIRE - see electrical
 - 14 METAL ROOFING - see spec.
 - 15 CONCRETE - architectural finish
 - 16 SOLAR PANELS
 - 17 TIMBER COLUMNS and BEAMS - stained Cedar
 - 18 CEMENT - FACED INSULATION PANELS - painted to match BENJAMIN MOORE "Amberst Gray"
 - 19 TRIM BOARDS (horizontal) 1"x12" - "SMART-SIDE" TRIM - "Mountain Cedar"
 - 20 CLAD COLUMNS & BEAM - "SMART-SIDE" TRIM - "Mountain Cedar"



4 Building A - Entry Canopy Elevation
 1/4"=1'-0"



5 Building A - Entry Canopy Elevation
 1/4"=1'-0"



6 Building A - Canopy Reflected Ceiling Plan
 1/4"=1'-0"

REV.	DATE	DESCRIPTION
9	May 07 2019	DP Finalization
8	Jan 11 2019	Issued for Tender
7	Nov 29 2018	BP Application
6	Nov 21 2018	review
5	Nov 07 2018	review
4	Sept 14 2018	Rev. DP Application
3	Sept 4 2018	DP Application
2	July 13 2018	Client review
1	Jan 30 2018	review

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W.D. FISHER ARCHITECT
 608-318 Huron Street
 Vancouver, B.C. V6C 2V2
 604-681-5741

Date	Oct 30, 2017	Scale	1:250
Drawn		Checked	
Project	Lakerview Terrace Apartments 4800 Cedar Ridge Place Nanaimo, BC		
Client	Highstreet Ventures Inc. 775-666-6557		

**Building A
 North + East Elevations**

Sheet No.	A.02.12
Project No.	

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Codes & Standards:
 Conform to latest edition
 BC Building Code

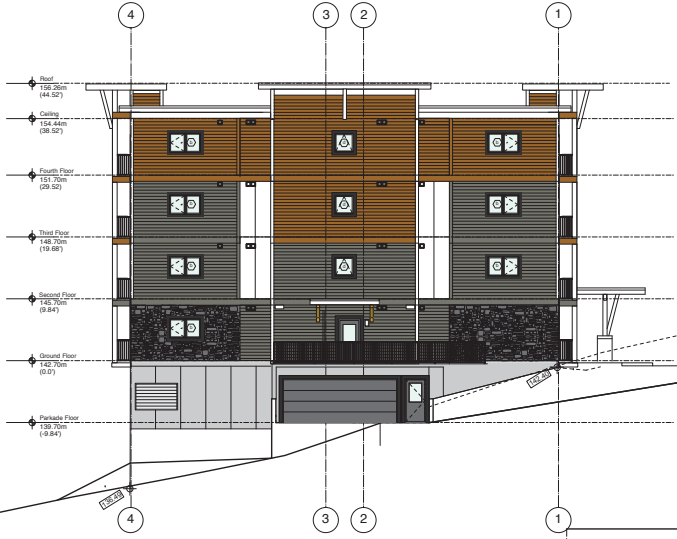
Dimensions:
 Contractors shall verify and be responsible for all dimensions on the job site and shall inform the Architect of any discrepancies shown on the drawings.

notes:

1 Building A - North Elevation - West End
 1/8"=1'-0"

Exterior Finishes Materials Legend - Siding Colours
 Disclaimer: Colours are for representation only, and may not be exactly as shown. See colour board and renderings.

- Vertical smooth-panel siding (straight edge)
 Product: ALLURA SMOOTH - 'STERLING GREY'
- Vertical smooth-panel siding (straight edge)
 Product: ALLURA SMOOTH - 'SNOW'
- Horizontal cedar texture siding (straight edge)
 8-1/4" panel (7" exposure)
 Product: ALLURA CEDAR LAP - 'MOUNTAIN CEDAR'
- Horizontal cedar texture siding (straight edge)
 9-1/4" panel (7" exposure)
 Product: ALLURA - colour matched to BENJAMIN MOORE - 'AMHERST GRAY'
- Cultured stone cladding
 Product: BLACK RUNDLE ALPINE LEDGSTONE



3 Building A - East Elevation
 1/8"=1'-0"



2 Building A - North Elevation - East End
 1/8"=1'-0"

Rev.	DATE	DESCRIPTION
1	Jan 30 2018	review
2	July 13 2018	client review
3	Sept 4 2018	DP Application
4	Sept 14 2018	Rev. DP Application
5	Nov 21 2018	review
6	Nov 29 2018	BP Application
7	Jan 11 2019	Issued for Tender
8	May 07 2019	DP ReSubmission

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 608-318 Huron Street
 Vancouver, B.C. V6B 2V2
 604681-5741

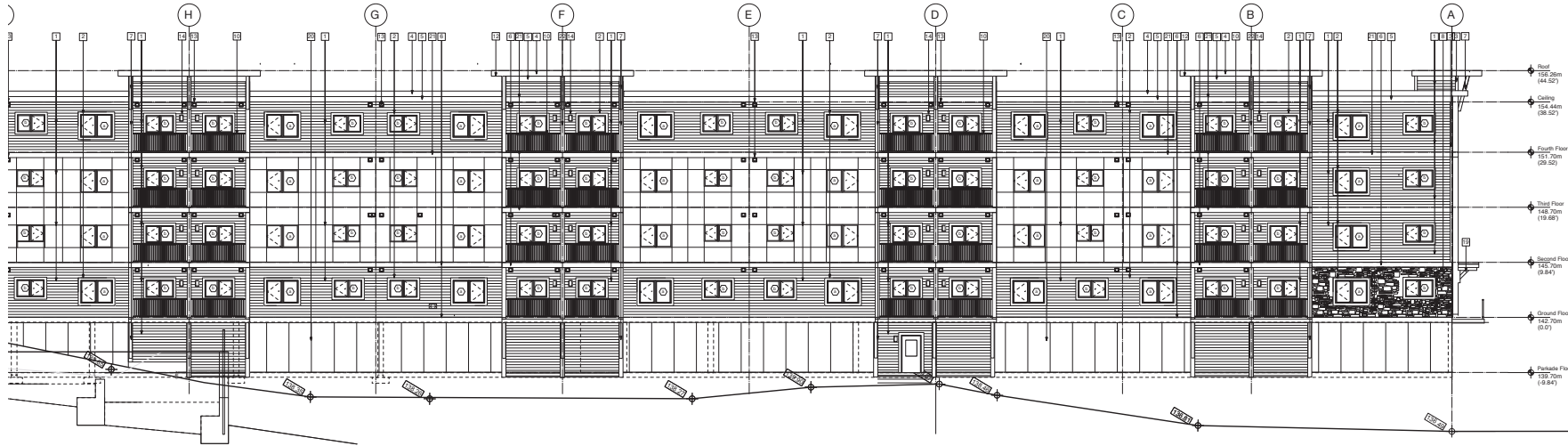
Date	Drawn	Checked	Scale
Oct 30, 2017			SCALE: 1:250

Project:
Lakeview Terrace Apartments
 4800 Cedar Ridge Place
 Nanaimo, BC
 Highest Ventures Inc.
 775-686-6567

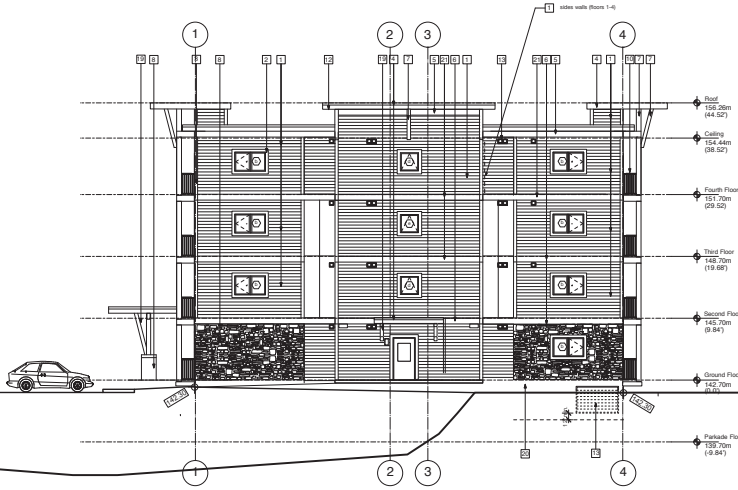
Building A
 North + East Coloured Elevations

Sheet No.	Drawing No.
Project No.	A.2.12.1

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 DP 1114
 2019-MAY-01

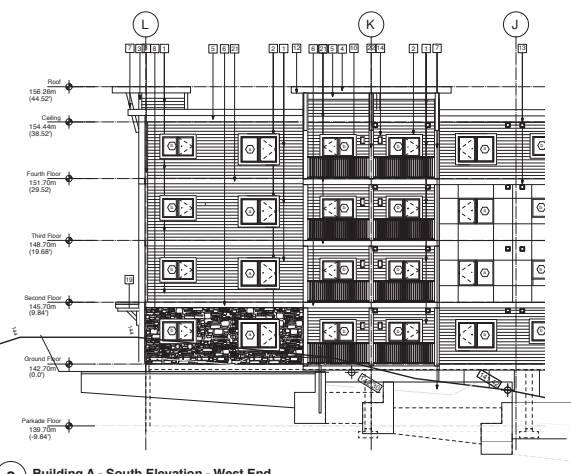


1 Building A - South Elevation - East End
1/8"=1'-0"



3 Building A - West Elevation
1/8"=1'-0"

- Exterior Finishes Materials Legend**
- 1 CEMENT BOARD SIDING - (refer to A02.13.1 for products / colours)
 - 2 TRIM BOARDS (windows) 1"x6" - "SMART-SIDE" TRIM - BLACK
 - 3 TRIM BOARDS (vertical) 1"x6" - "SMART-SIDE" TRIM - SNOW
 - 4 TRIM BOARDS (gables / fascia) 1"x10" - "SMART-SIDE" TRIM - SNOW
 - 5 TRIM BOARDS (horizontal) 1"x12" - "SMART-SIDE" TRIM - SNOW
 - 6 TRIM BOARDS (horizontal) 1"x12" - "SMART-SIDE" TRIM - SNOW
 - 7 CLAD COLUMNS and KNEE BRACE - "SMART-SIDE" TRIM - SNOW
 - 8 CULTURED STONE - BLACK RUNDLE - ALPINE LEDGESTONE
 - 9 RAINWATER LEADERS - PRE-FINISHED ALUMINUM - WHITE
 - 10 RAILINGS - PRE-FINISHED ALUMINUM - BLACK
 - 11 SBS ROOF - DARK GREY
 - 12 ROOF SOFFITS - ALLURA NON-PERFORATED - CEDAR
 - 13 MECHANICAL VENT (60" Spun White or white-clad areas, #29 Grey elsewhere) - see match
 - 14 METAL MOUNTED LUMINAIRE - see electrical
 - 15 WALL ROOFING - see spec
 - 16 CONCRETE - structural finish
 - 17 SOLAR PANELS
 - 18 TIMBER COLUMNS and BEAMS - stained Clear
 - 19 CEMENT-FACED INSULATION PANELS - painted to match BENJAMIN MOORE "Amherst Gray"
 - 20 TRIM BOARDS (horizontal) 1"x12" - "SMART-SIDE" TRIM - "Mountain Cedar"
 - 21 CLAD COLUMNS and BEAM - "SMART-SIDE" TRIM - "Mountain Cedar"



2 Building A - South Elevation - West End
1/8"=1'-0"

Codes & Standards:
 Conform to latest editions,
 BC Building Code
Deviations:
 Contractors shall verify and be responsible
 for all dimensions on the job site and shall
 inform the Architect of any discrepancies
 shown on the drawings.

notes:

NO.	DATE	DESCRIPTION
9	May 07 2019	DP Resubmission
8	Jan 11 2019	Issued for Tender
7	Nov 29 2018	BP Application
6	Nov 21 2018	revised
5	Nov 07 2018	revised
4	Sept 14 2018	Rev. DP Application
3	Sept 4 2018	DP Application
2	July 13 2018	client review
1	Jan 30 2018	revised

REV.	DATE	DESCRIPTION
1	YMS	

FISHER ARCHITECT
 605-510-1000 (Voice)
 Vancouver, B.C. V6B 2V2
 604681-0241

Date	Oct 30, 2017	Scale	1:250
Drawn		Project	Lakeview Terrace Apartments 4800 Cedar Ridge Place Nanaimo, BC
Checked		Client	Higheststreet Ventures Inc. 778-484-5567
Scale	SCALE: 1:250	Drawing Title	Building A West + South Elevations
Client File No.		Drawing No.	A.02.13

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 2019-MAY-09

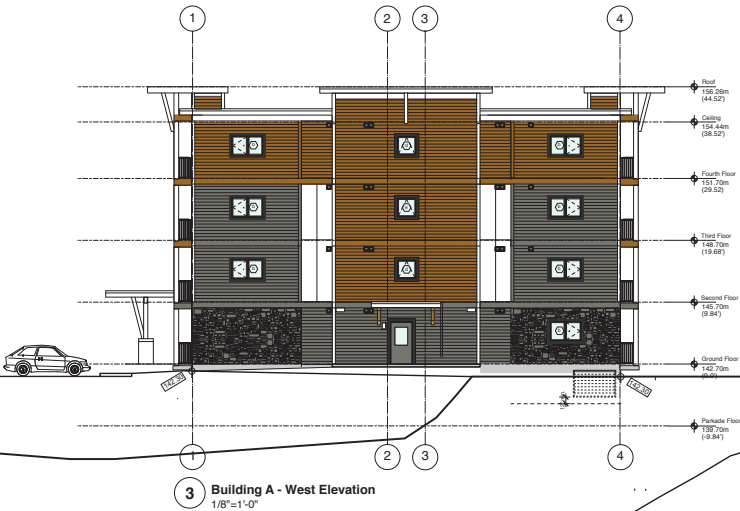


1 Building A - South Elevation - East End
1/8"=1'-0"

Exterior Finishes Materials Legend - Siding Colours

Disclaimer: Colours are for representation only, and may not be exactly as shown. See colour-board and renderings.

-  Vertical smooth-panel siding (straight edge)
Product: ALLURA SMOOTH - "STERLING GREY"
-  Vertical smooth-panel siding (straight edge)
Product: ALLURA SMOOTH - "SNOW"
-  Horizontal cedar texture siding (straight edge)
S-114" panel (7" exposure)
Product: ALLURA CEDAR LAP - "MOUNTAIN CEDAR"
-  Horizontal cedar texture siding (straight edge)
S-114" panel (7" exposure)
Product: ALLURA - colour matched to BENJAMIN MOORE - "AMHERST GRAY"
-  Cultured stone cladding
Product: BLACK RUNDLE ALPINE LEDGSTONE



3 Building A - West Elevation
1/8"=1'-0"



2 Building A - South Elevation - West End
1/8"=1'-0"

Codes & Standards:
Comply to latest edition
BC Building Code

Dimensions:
Contractors shall verify and be responsible for all dimensions on the job site and shall inform the Architect of any discrepancies shown on the drawings.

notes:

Rev.	DATE	DESCRIPTION
8	May 07 2019	DP ReSubmission
7	Jan 11 2019	Issued for Tender
6	Nov 29 2018	BP Application
5	Nov 21 2018	review
4	Sept 14 2018	Rev. DP Application
3	Sept 4 2018	DP Application
2	July 13 2018	Client review
1	Jan 30 2018	review

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608-318 Huron Street
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604681-5741

Date	Oct 30, 2017	Scale
Drawn		
Checked		
Scale	SCALE: 1:250	

Project:
Lakeview Terrace Apartments
4800 Cedar Ridge Place
Nanaimo, BC
Highestventures Inc.
775-686-5557

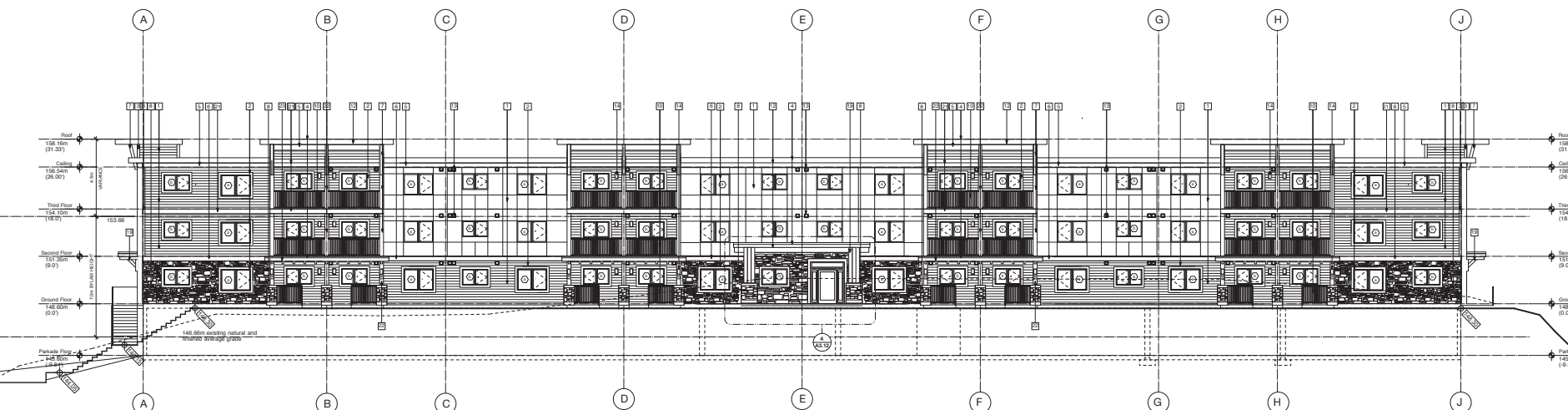
Building A West + South Coloured Elevations

Sheet No.	Drawing No.
Project No.	A.2.13.1

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DP 1114
2019-MAY-09

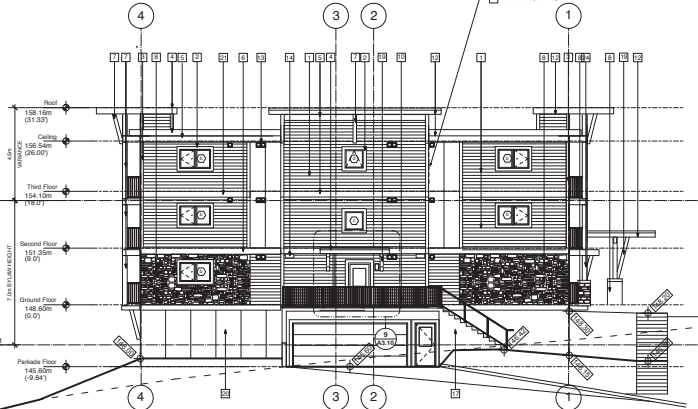
Codes & Standards:
 Conform to latest edition
 BC Building Code
Dimensions:
 Contractors shall verify and be responsible
 for all dimensions on the job site and shall
 inform the Architect of any discrepancies
 shown on the drawings.

notes:

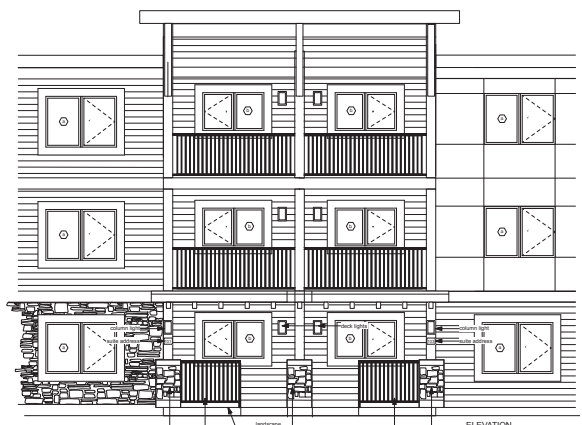


1 Building B - East Elevation
 1/8"=1'-0"

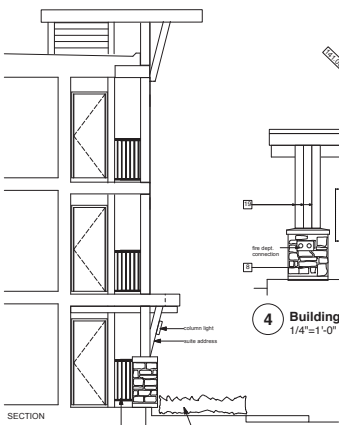
- Exterior Finishes Materials Legend**
- 1 CEMENT BOARD SIDING - (refer to A03.12.1 for products / colours)
 - 2 TRIM BOARDS (window) 1"x6" "SMART-SIDE" TRIM - BLACK
 - 3 TRIM BOARDS (vertical) 1"x6" "SMART-SIDE" TRIM - SNOW
 - 4 TRIM BOARDS (gables + fascia) 1"x10" "SMART-SIDE" TRIM - SNOW
 - 5 TRIM BOARDS (horizontal) 1"x12" "SMART-SIDE" TRIM - SNOW
 - 6 TRIM BOARDS (horizontal) 1"x12" "SMART-SIDE" TRIM - BENJAMIN MOORE "Kendall Charcoal"
 - 7 CLAD COLUMNS and KNEE BRACE - "SMART-SIDE" TRIM - SNOW
 - 8 CULTURED STONE - BLACK RUNDLE - ALPINE LEDGESTONE
 - 9 MANNING LEADERS - FINE-FINISHED ALUMINUM - WHITE
 - 10 RAILINGS - FINE-FINISHED ALUMINUM - BLACK
 - 11 ROOF - DARK GREY
 - 12 ROOF SOFFITS - ALLURION NON-PERFORATED - CEDAR
 - 13 MECHANICAL VENT (M1) Snow White in white-clad areas; #28 Grey elsewhere) - see mech.
 - 14 WALL MOUNTED LUMINAIRE - see electrical
 - 15 METAL ROOFING - see spec.
 - 16 CONCRETE - architectural finish
 - 17 SOLAR PANELS
 - 18 TIMBER COLUMNS and BEAMS - stained Clear
 - 19 CEMENT - FACED INSULATION PANELS - painted to match BENJAMIN MOORE "Kendall Charcoal"
 - 20 TRIM BOARDS (horizontal) 1"x12" "SMART-SIDE" TRIM - "Cedar"
 - 21 CLAD COLUMNS & BEAM - "SMART-SIDE" TRIM - "Cedar"
 - 22 CLAD PURLINS - "SMART-SIDE" TRIM - "Cedar"



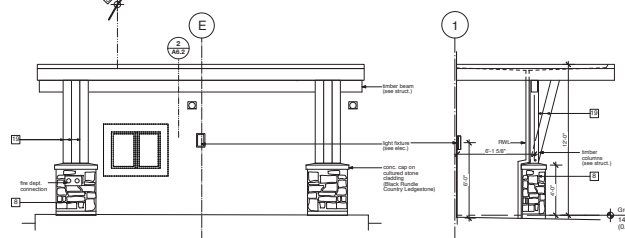
2 Building B - South Elevation
 1/8"=1'-0"



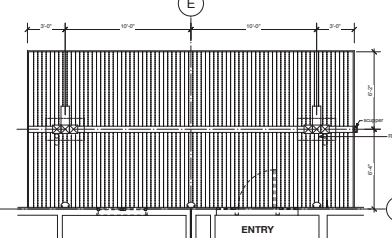
3 Building B - Ground Floor Suite Entry - Detail Elevation + Section
 1/4"=1'-0"



4 Building B - Entry Canopy Elevation
 1/4"=1'-0"



5 Building B - Entry Canopy Elevation
 1/4"=1'-0"



6 Building B - Canopy Reflected Ceiling Plan
 1/4"=1'-0"

Rev. No.	DATE	DESCRIPTION
10	May 07 2019	DP ReSubmission
9	Feb 25 2019	Revised for DP
8	Jan 11 2019	Issued for Tender
7	Nov 29 2018	BP Application
6	Nov 21 2018	review
5	Nov 07 2018	review
4	Sept 14 2018	Rev. DP Application
3	Sept 4 2018	DP Application
2	July 13 2018	client review
1	Jan 30 2018	review

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 Vancouver, B.C. V6B 2V2
 604-681-5741

Date: Oct 30, 2017
 Drawn: [Signature]
 Checked: [Signature]
 Scale: 1:250

Project: **Lakeview Terrace Apartments**
 4800 Cedar Ridge Place
 Nanaimo, BC
 Highest Ventures Inc.
 775-686-6517

Building B
South + East Elevations

Sheet No. **A.03.12**

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Codes & Standards:
 Conform to latest edition
 BC Building Code
Dimensions:
 Contractors shall verify and be responsible for all dimensions on the job site and shall inform the Architect of any discrepancies shown on the drawings.

notes:

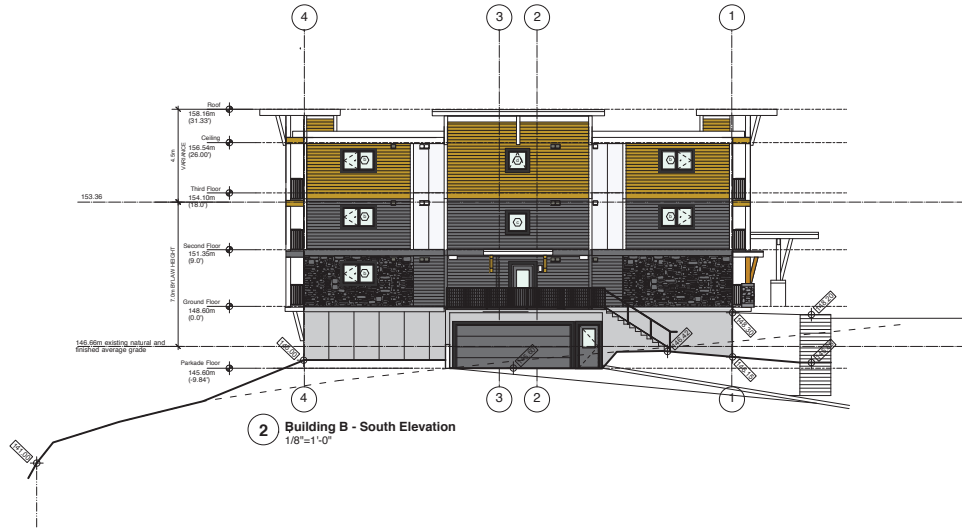


1 Building B - East Elevation
 1/8"=1'-0"

Exterior Finishes Materials Legend - Siding Colours

Disclaimer: Colours are for representation only, and may not be exactly as shown. See colour-board and renderings.

- Vertical smooth-panel siding (straight edge)
 Product: ALLURA SMOOTH - colour matched to BENJAMIN MOORE - "Kendall Charcoal"
- Vertical smooth-panel siding (straight edge)
 Product: ALLURA SMOOTH - "SNOW"
- Horizontal cedar texture siding (straight edge)
 8-1/4" panel (7" exposure)
 Product: ALLURA CEDAR LAP - "CEDAR"
- Horizontal cedar texture siding (straight edge)
 8-1/4" panel (7" exposure)
 Product: ALLURA - "KENDALL CHARCOAL"
- Cultured stone cladding
 Product: BLACK RUNDLE ALPINE LEDGSTONE



2 Building B - South Elevation
 1/8"=1'-0"

Rev.	DATE	DESCRIPTION
8	May 07 2019	DP ReSubmission
7	Jan 11 2019	Issued for Tender
6	Nov 29 2018	BP Application
5	Nov 21 2018	review
4	Sept 14 2018	Rev. DP Application
3	Sept 4 2018	DP Application
2	July 13 2018	Client review
1	Jan 30 2018	review

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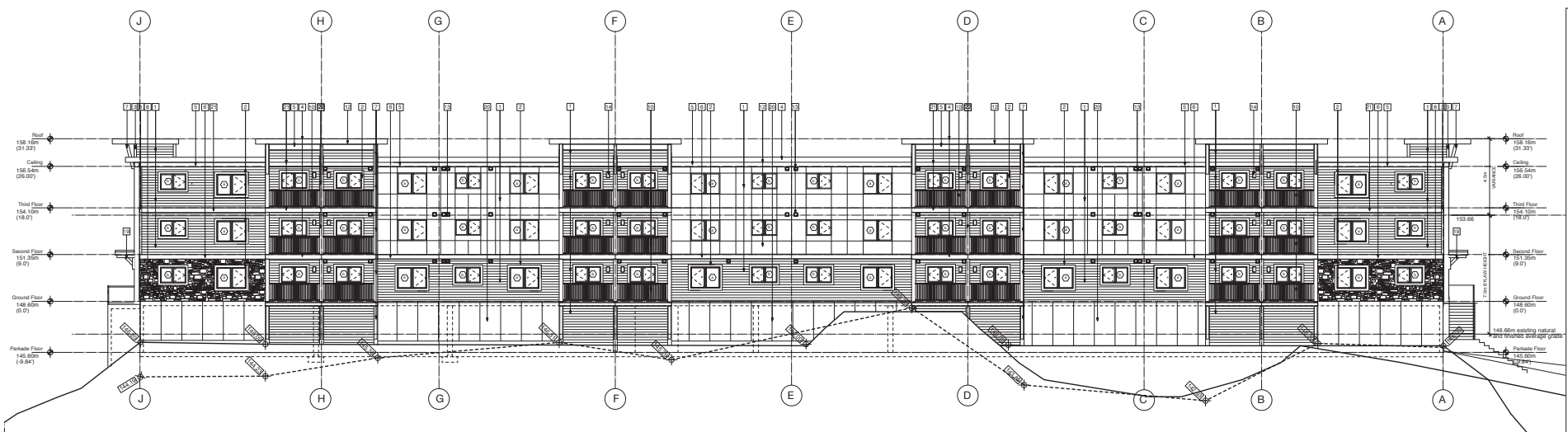
Date: Oct 30, 2017
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Project: **Lakeview Terrace Apartments**
 4800 Cedar Ridge Place
 Nanaimo, BC
 Highest Ventures Inc.
 775-686-6567

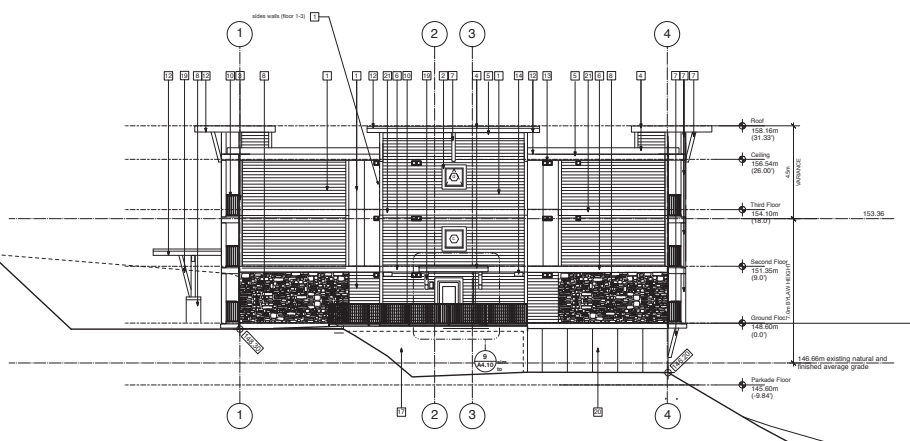
Building B
South + East Coloured
Elevations

Sheet No. **A.03.12.1**

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1 Building B - West Elevation
1/8"=1'-0"



2 Building B - North Elevation
1/8"=1'-0"

- Exterior Finishes Materials Legend**
- 1 CEMENT BOARD SIDING - (refer to A03.13.1 for products / colours)
 - 2 TRIM BOARDS (window) 1"x6" - "SMART-SIDE" TRIM - BLACK
 - 3 TRIM BOARDS (vertical) 1"x6" - "SMART-SIDE" TRIM - SNOW
 - 4 TRIM BOARDS (gables + fascia) 1"x10" - "SMART-SIDE" TRIM - SNOW
 - 5 TRIM BOARDS (horizontal) 1"x12" - "SMART-SIDE" TRIM - SNOW
 - 6 TRIM BOARDS (horizontal) 1"x12" - "SMART-SIDE" TRIM - BENJAMIN MOORE "Kendall Charcoal"
 - 7 CLAD COLUMNS and KNEE BRACE - "SMART-SIDE" TRIM - SNOW
 - 8 CULTURED STONE - BLACK RUNDLE - ALPINE LEDGESTONE
 - 9 RAINWATER LEADERS - PRE-FINISHED ALUMINUM - WHITE
 - 10 RAILINGS - PRE-FINISHED ALUMINUM - BLACK
 - 11 SBS ROOF - DARK GREY
 - 12 ROOF SCOFFERS - ALLURA NON-PERFORATED - CEDAR
 - 13 MECHANICAL VENT (#01 Snow White in white-clad areas, #28 Grey elsewhere) - see mach.
 - 14 WALL MOUNTED LUMINAIRE - see electrical
 - 15 METAL ROOFING - see spec.
 - 16 CONCRETE - architectural finish
 - 17 SOLAR PANELS
 - 18 TIMBER COLUMNS and BEAMS - stained Clear
 - 19 CEMENT - FACED INSULATION PANELS - painted to match BENJAMIN MOORE "Kendall Charcoal"
 - 20 TRIM BOARDS (horizontal) 1"x12" - "SMART-SIDE" TRIM - "Cedar"
 - 21 CLAD COLUMNS & BEAM - "SMART-SIDE" TRIM - "Cedar"
 - 22 CLAD PURLINS - "SMART-SIDE" TRIM - "Cedar"

Codes & Standards:
 Conform to latest edition
 BC Building Code
Dimensions:
 Contractor shall verify and be responsible
 for dimensions on the job site and shall
 inform the Architect of any discrepancies
 shown on the drawings.

notes:

REV.	DATE	DESCRIPTION
10	May 07 2019	DP Re-submission
9	Feb 25 2019	Revised for DP
8	Jan 11 2019	Issued for Tender
7	Nov 29 2018	BP Application
6	Nov 21 2018	review
5	Nov 07 2018	review
4	Sept 14 2018	Rev. DP Application
3	Sept 4 2018	DP Application
2	July 13 2018	client review
1	Jan 30 2018	review

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 608-318 Huron Street
 Vancouver, B.C. V6B 2V2
 604-681-5741

Date	Oct 30, 2017	Scale
Drawn		
Checked		
Scale	SCALE: 1:250	

Project:
Lakeview Terrace Apartments
 4800 Cedar Ridge Place
 Nanaimo, BC
 Highestreet Ventures Inc.
 77-484-6547

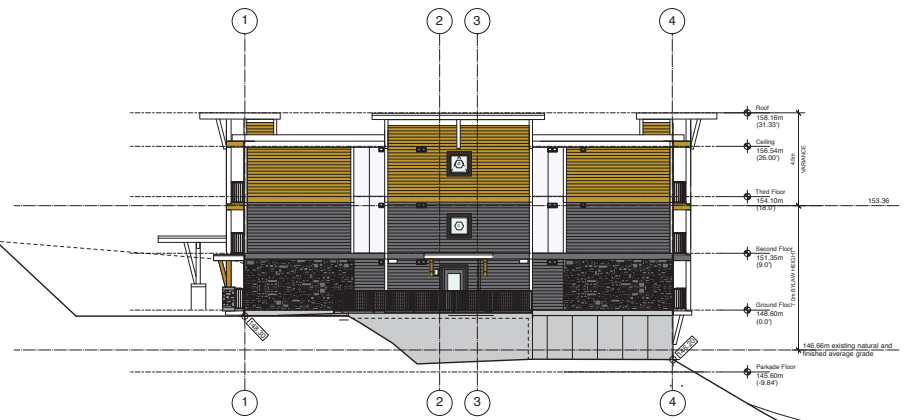
Building B
 North + West Elevations

Client File No.	Drawing No.
	A.03.13

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





1 Building B - West Elevation
1/8"=1'-0"



2 Building B - North Elevation
1/8"=1'-0"

Exterior Finishes Materials Legend - Siding Colours
Disclaimer: Colours are for representation only, and may not be exactly as shown. See colour-board and renderings.

-  Vertical smooth-panel siding (straight edge)
Product: ALLURA SMOOTH - colour matched to BENJAMIN MOORE - "Kendall Charcoal"
-  Vertical smooth-panel siding (straight edge)
Product: ALLURA SMOOTH - "SNOW"
-  Horizontal cedar texture siding (straight edge)
8-1/4" panel (7" exposure)
Product: ALLURA CEDAR LAP - "CEDAR"
-  Horizontal cedar texture siding (straight edge)
8-1/4" panel (7" exposure)
Product: ALLURA - "KENDALL CHARCOAL"
-  Cultured stone cladding
Product: BLACK RUNDLE ALPINE LEDGSTONE

Codes & Standards:
Comply to latest edition
BC Building Code
Dimensions:
Contractors shall verify and be responsible for all dimensions on the job site and shall inform the Architect of any discrepancies shown on the drawings.

notes:

Rev. No.	DATE	DESCRIPTION
8	May 07 2019	DP Readministration
7	Jan 11 2019	Issued for Tender
6	Nov 29 2018	BP Application
5	Nov 21 2018	review
4	Sept 14 2018	Rev. DP Application
3	Sept 4 2018	DP Application
2	July 13 2018	client review
1	Jan 30 2018	review

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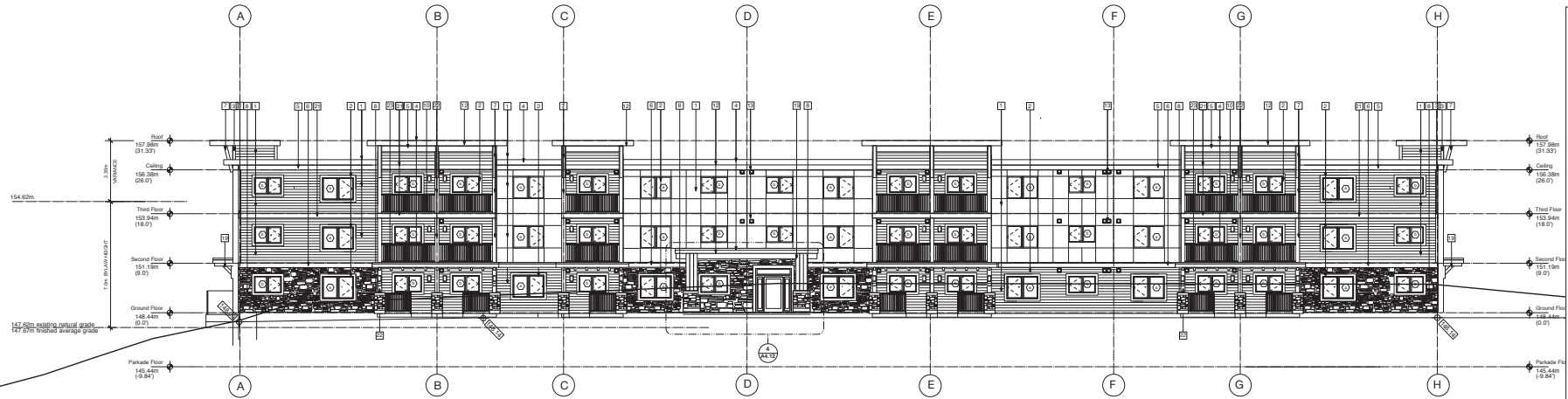
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408-318 Homer Street
Vancouver, B.C. V6B 2V2
604-681-5741

Date	Oct 30, 2017	Scale	SCALE: 1:250
Drawn		Project	Labview Terrace Apartments 4800 Cedar Ridge Place Nanaimo, BC
Checked		Client	Hightreet Ventures Inc. 775-685-6587

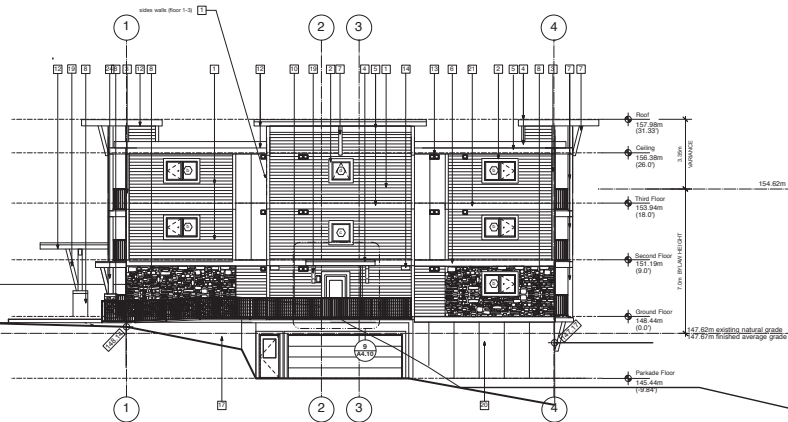
**Building B
North + West Coloured
Elevations**

Client File No.	Drawing No.
Project No.	A.03.13.1

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2019-MAY-09



1 Building C - Northwest Elevation
1/8"=1'-0"



2 Building C - Southwest Elevation
1/8"=1'-0"

Exterior Finishes Materials Legend

- 1 CEMENT BOARD SIDING - (refer to A04.12.1.1 for products / colours)
- 2 TRIM BOARDS (window) 1"x6" - "SMART-SIDE" TRIM - BLACK
- 3 TRIM BOARDS (vertical) 1"x6" - "SMART-SIDE" TRIM - SNOW
- 4 TRIM BOARDS (gables + fascia) 1"x10" - "SMART-SIDE" TRIM - SNOW
- 5 TRIM BOARDS (horizontal) 1"x12" - "SMART-SIDE" TRIM - SNOW
- 6 TRIM BOARDS (horizontal) 1"x12" - "SMART-SIDE" TRIM - BENJAMIN MOORE "Kendall Charcoal"
- 7 CLAD COLUMNS and KNEE BRACE - "SMART-SIDE" TRIM - SNOW
- 8 CULTURED STONE - BLACK RUNDLE - ALPINE LEDGESTONE
- 9 RAINWATER LEADERS - PRE-FINISHED ALUMINUM - WHITE
- 10 RAILINGS - PRE-FINISHED ALUMINUM - BLACK
- 11 ROOF - DARK GREY
- 12 ROOF SOFFITS - ALLURA NON-PERFORATED - CEDAR
- 13 MECHANICAL VENT (#01 Snow White in white-clad areas; #28 Grey elsewhere) - see mech.
- 14 WALL MOUNTED LUMINAIRE - see spec.
- 15 METAL ROOFING - see spec.
- 16 CONCRETE - architectural finish
- 17 SOLAR PANELS
- 18 FIBER COLUMNS and BEAMS - stained Clear
- 19 CEMENT - FACED INSULATION PANELS - painted to match BENJAMIN MOORE "Kendall Charcoal"
- 20 TRIM BOARDS (horizontal) 1"x12" - "SMART-SIDE" TRIM - "Cedar"
- 21 CLAD COLUMNS & BEAM - "SMART-SIDE" TRIM - "Cedar"
- 22 CLAD PURLINS - "SMART-SIDE" TRIM - "Cedar"

Codes & Standards:
 Conform to latest edition
 BC Building Code
Dimensions:
 Contractor shall verify and be responsible
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 inform the Architect of any discrepancies
 shown on the drawings.

notes:

Rev.	DATE	DESCRIPTION
9	May 07 2019	DP Re-submission
8	Feb 25 2019	Revised for DP
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3	Sept 4 2018	DP Application
2	July 13 2018	Client review
1	Jan 30 2018	review

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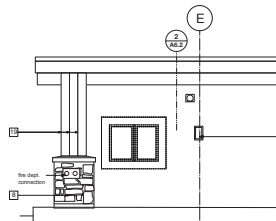
Date: Oct. 30, 2017
 Drawn: [Signature]
 Checked: [Signature]
 Scale: SCALE: 1:250

Project: **Lakeview Terrace Apartments**
 4800 Cedar Ridge Place
 Nanaimo, BC
 Higheststreet Ventures Inc.
 775-666-6567

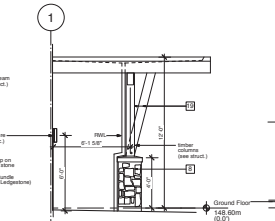
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 Project No. [Blank]



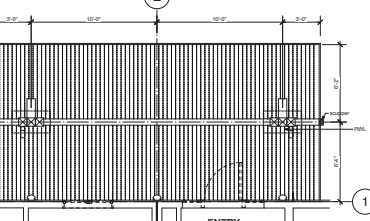
3 Building C - Ground Floor Suite Entry - Detail Elevation + Section
1/4"=1'-0"



4 Building C - Entry Canopy Elevation
1/4"=1'-0"



5 Building C - Entry Canopy Elevation
1/4"=1'-0"



6 Building C - Canopy Reflected Ceiling Plan
1/4"=1'-0"

Codes & Standards:
 Conform to latest edition
 BC Building Code
Dimensions:
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notes:

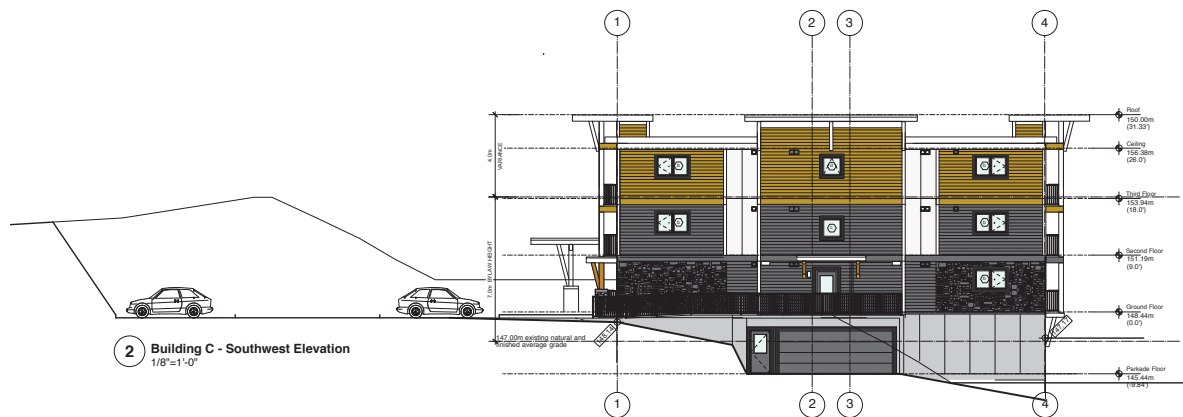


1 Building C - Northwest Elevation
 1/8"=1'-0"

Exterior Finishes Materials Legend - Siding Colours

Disclaimer: Colours are for representation only, and may not be exactly as shown. See colour boards and renderings.

-  Vertical smooth-panel siding (straight edge)
 Product: ALLURA SMOOTH - colour matched to BENJAMIN MOORE - "Kendall Charcoal"
-  Vertical smooth-panel siding (straight edge)
 Product: ALLURA SMOOTH - "SNOW"
-  Horizontal cedar texture siding (straight edge)
 8-1/4" panel (7" exposure)
 Product: ALLURA CEDAR LAP - "CEDAR"
-  Horizontal cedar texture siding (straight edge)
 8-1/4" panel (7" exposure)
 Product: ALLURA - "KENDALL CHARCOAL"
-  Cultured stone cladding
 Product: BLACK RUNDLE ALPINE LEDGSTONE



2 Building C - Southwest Elevation
 1/8"=1'-0"

Rev. No.	DATE	DESCRIPTION
8	May 07 2019	DP ReSubmission
7	Jan 11 2019	Issued for Tender
6	Nov 29 2018	BP Application
5	Nov 21 2018	review
4	Sept 14 2018	Rev. DP Application
3	Sept 4 2018	DP Application
2	July 13 2018	client review
1	Jan 30 2018	review

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 604-681-5741

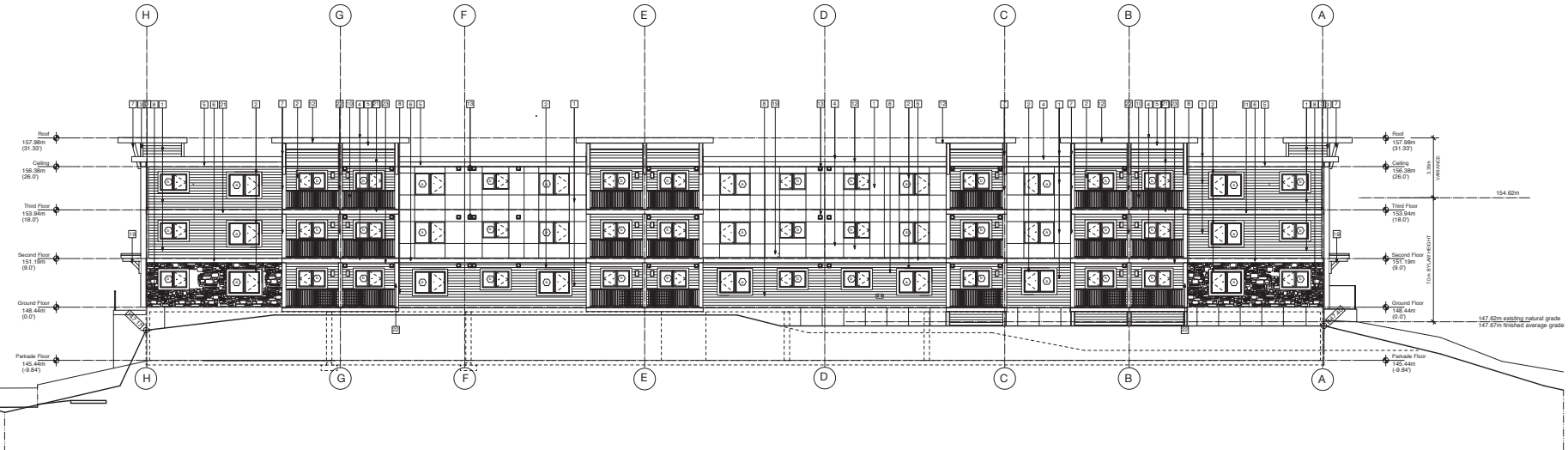
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Checked			

Project:
Lakeview Terrace Apartments
 4800 Cedar Ridge Place
 Nanaimo, BC
 Highest Ventures Inc.
 775-686-6587

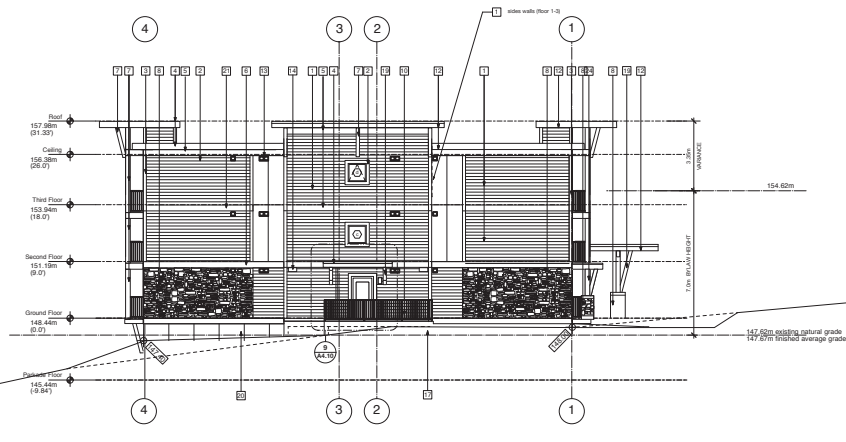
Building C
 Northwest + Southwest
 Coloured Elevations

Sheet No.	04.01
Project No.	A.04.12.1

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 2019-MAY-09



1 Building C - Southeast Elevation
1/8"=1'-0"



2 Building C - Northeast Elevation
1/8"=1'-0"

Exterior Finishes Materials Legend

- 1 CEMENT BOARD SIDINGS - (refer to A04.12.1 for products / colours)
- 2 TRIM BOARDS (vertical) 1"x4" - "SMART-SIDE" TRIM - BLACK
- 3 TRIM BOARDS (vertical) 1"x6" - "SMART-SIDE" TRIM - SNOW
- 4 TRIM BOARDS (vertical) 1"x6" - "SMART-SIDE" TRIM - SNOW
- 5 TRIM BOARDS (horizontal) 1"x12" - "SMART-SIDE" TRIM - SNOW
- 6 TRIM BOARDS (horizontal) 1"x12" - "SMART-SIDE" TRIM - SNOW
- 7 TRIM BOARDS (horizontal) 1"x12" - "SMART-SIDE" TRIM - BENJAMIN MOORE "Kendall Charcoal"
- 8 CLAD COLUMNS and KNEE BRACE - "SMART-SIDE" TRIM - SNOW
- 9 CULTURED STONE - BLACK HUNKLE - ALPINE LEDGESTONE
- 10 RAINWATER LEADERS - PRE-FINISHED ALUMINUM - WHITE
- 11 RAILINGS - PRE-FINISHED ALUMINUM - BLACK
- 12 BSI ROOF - DARK GREY
- 13 ROOF SOFFITS - ALLURA NON-PERFORATED - CEDAR
- 14 MECHANICAL VENT (M1) Snow White in white-clad areas, #20 Grey elsewhere) - see mech.
- 15 WALL MOUNTED LUMINAIRE - see electrical
- 16 METAL ROOFING - see spec.
- 17 CONCRETE - architectural finish
- 18 SOLAR PANELS
- 19 TIMBER COLUMNS and BEAMS - stained Clear
- 20 CEMENT - FACED INSULATION PANELS - painted to match BENJAMIN MOORE "Kendall Charcoal"
- 21 TRIM BOARDS (horizontal) 1"x12" - "SMART-SIDE" TRIM - "Cedar"
- 22 CLAD COLUMNS and BEAM - "SMART-SIDE" TRIM - "Cedar"
- 23 CLAD PURLINS - "SMART-SIDE" TRIM - "Cedar"

Codes & Standards:
 Conform to latest edition
 BC Building Code
Dimensions:
 Contractor shall verify and be responsible
 for all dimensions on the job site and shall
 inform the Architect of any discrepancies
 shown on the drawings.

notes:

Rev.	DATE	DESCRIPTION
10	May 07 2019	DP Resubmission
9	Feb 25 2019	Revised for DP
8	Jan 11 2019	Issued for Tender
7	Nov 29 2018	BP Application
6	Nov 21 2018	review
5	Nov 07 2018	review
4	Sept 14 2018	Rev. DP Application
3	Sept 4 2018	DP Application
2	July 13 2018	client review
1	Jan 30 2018	review

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Date	Drawn	Scale
Oct 30, 2017		
Checked		
Scale	SCALE: 1:250	

Project:
Lakeview Terrace Apartments
 4800 Cedar Ridge Place
 Nanaimo, BC
 Higheststreet Ventures Inc.
 776-666-6567

Building C
 Northeast + Southeast
 Elevations






Sheet No.	Drawing No.
Project No.	A.04.13

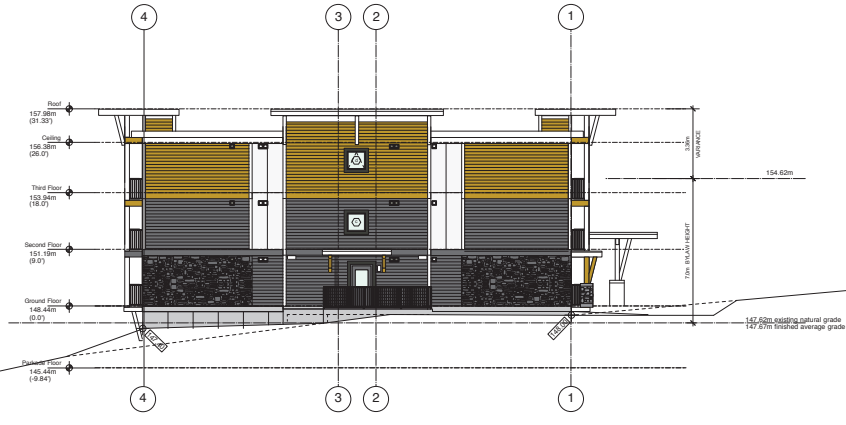
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 DP 1114
 2019-MAY-09



1 Building C - Southeast Elevation
1/8"=1'-0"

Exterior Finishes Materials Legend - Siding Colours
Disclaimer: Colours are for representation only and may not be exactly as shown. See colour-board and renderings.

-  Vertical smooth-panel siding (straight edge)
Product: ALLURA SMOOTH - colour matched to BENJAMIN MOORE - "Kendall Charcoal"
-  Vertical smooth-panel siding (straight edge)
Product: ALLURA SMOOTH - "SNOW"
-  Horizontal cedar texture siding (straight edge)
8-1/4" panel (7" exposure)
Product: ALLURA CEDAR LAP - "CEDAR"
-  Horizontal cedar texture siding (straight edge)
8-1/4" panel (7" exposure)
Product: ALLURA - "KENDALL CHARCOAL"
-  Cultured stone cladding
Product: BLACK RUNDLE ALPINE LEDGSTONE



2 Building C - Northeast Elevation
1/8"=1'-0"

Codes & Standards:
Comply to latest edition BC Building Code
Dimensions:
Contractors shall verify and be responsible for all dimensions on the job site and shall inform the Architect of any discrepancies shown on the drawings.

notes:

Rev.	DATE	DESCRIPTION
1	Jan 30 2018	review
2	July 13 2018	client review
3	Sept 4 2018	DP Application
4	Sept 14 2018	Rev. DP Application
5	Nov 21 2018	review
6	Nov 28 2018	BP Application
7	Jan 11 2019	Issued for Tender
8	May 07 2019	DP Reapplication

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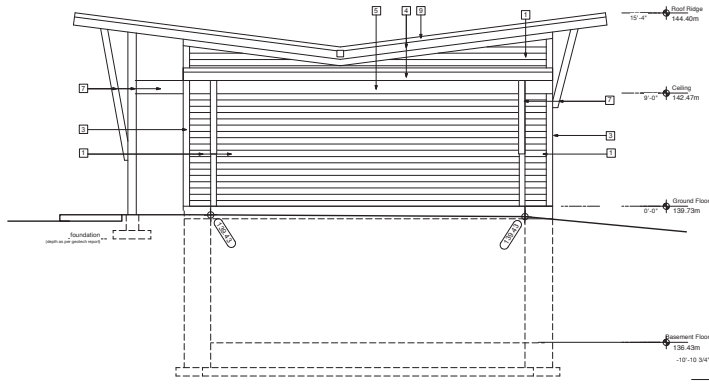
Date: Oct 30, 2017
Drawn: [Signature]
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Project: **Lakeview Terrace Apartments**
4800 Cedar Ridge Place
Nanaimo, BC
Highstreet Ventures Inc.
775-685-6557

Building C
Northeast + Southeast
Coloured Elevations

Client File No. [Blank] Drawing No. [Blank]
Project No. **A.04.13.1**

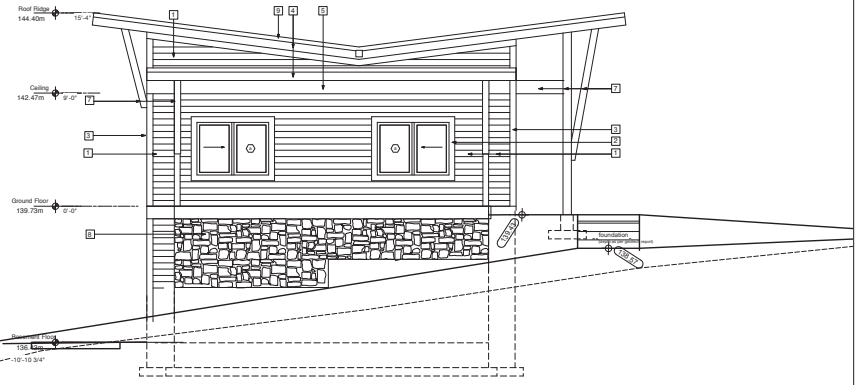




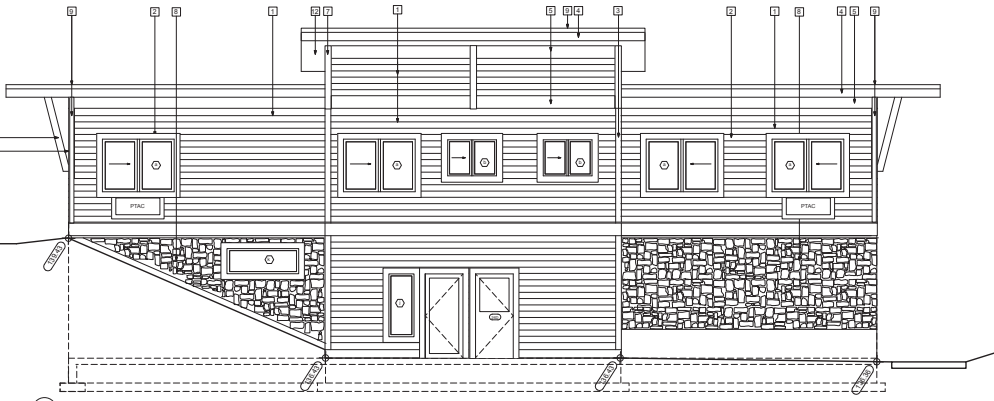
1 Community Building North Elevation
1/4" = 1'-0"

Exterior Finishes Materials Legend

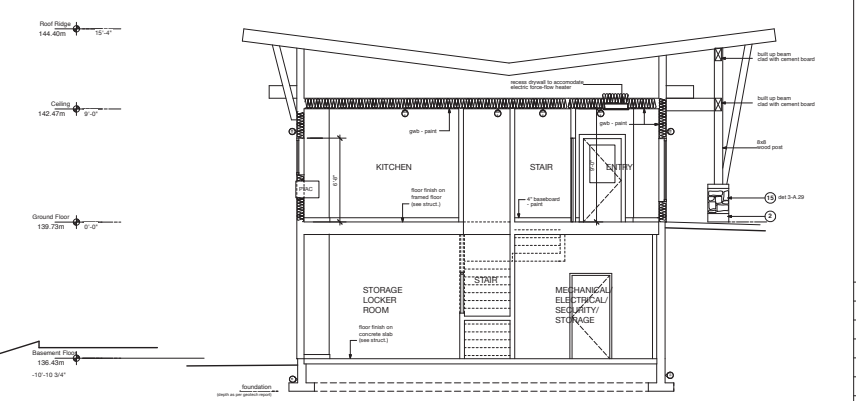
- 1 CEMENT BOARD SIDING - (refer to A05.3 for products / colours)
- 2 TRIM BOARDS (window) 1"x12" - FIBRE CEMENT BOARD - SNOW
- 3 TRIM BOARDS (vertical) 1"x6" - FIBRE CEMENT BOARD - SNOW
- 4 TRIM BOARDS (gables + fascia) 1"x12" - FIBRE CEMENT BOARD - SNOW
- 5 TRIM BOARDS (horizontal) 1"x12" - FIBRE CEMENT BOARD - SNOW
- 6 CLAD COLUMNS and BEAMS - FIBRE CEMENT BOARD - SNOW
- 7 CULTURED STONE - BLACK RUNDLE - COUNTRY LEDGESTONE
- 8 FLASHING and DOWNSPOUTS - FIRE FINISHED ALUMINUM - WHITE
- 9 SOFFIT - ALUPURA VENTED CEILING - CEDAR
- 10 WALL MOUNTED LUMINAIRE - see electrical



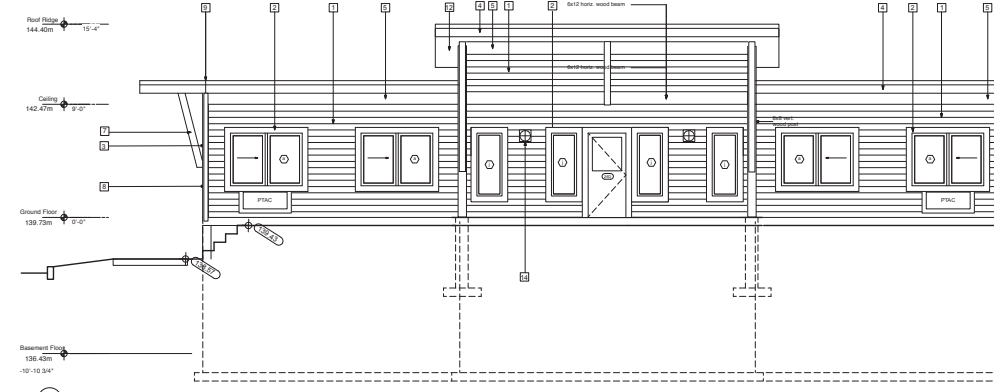
2 Community Building South Elevation
1/4" = 1'-0"



3 Community Building West Elevation
1/4" = 1'-0"



5 Community Building Section
1/4" = 1'-0"



4 Community Building East Elevation
1/4" = 1'-0"

Codes & Standards:
Conform to latest edition
BC Building Code
Drawings:
Contractors shall verify and be responsible for all dimensions on the job site and shall inform the Architect of any discrepancies shown on the drawings.

notes:

Rev. No.	DATE	DESCRIPTION
7	May 07 2019	DP Re-submission
6	Jan 11 2019	Revised for Tender
5	Nov 29 2018	BP Application
4	Nov 21 2018	review
3	Nov 07 2018	review
2	Sept 14 2018	Rev. DP Application
1	Sept 4 2018	DP Application

Project/Client: This drawing and all drawings hereon are the property of FISHER ARCHITECT and cannot be used for any purpose without the written consent of FISHER ARCHITECT. This drawing is not to be used for construction until issued by the authority having jurisdiction. It is the contractor's responsibility to verify all dimensions, details and notes. It is the contractor's responsibility to verify all dimensions, details and notes. It is the contractor's responsibility to verify all dimensions, details and notes. It is the contractor's responsibility to verify all dimensions, details and notes.

FISHER ARCHITECT
608-218 Avenue One
Vancouver, B.C. V6B 2V2
604-681-5241

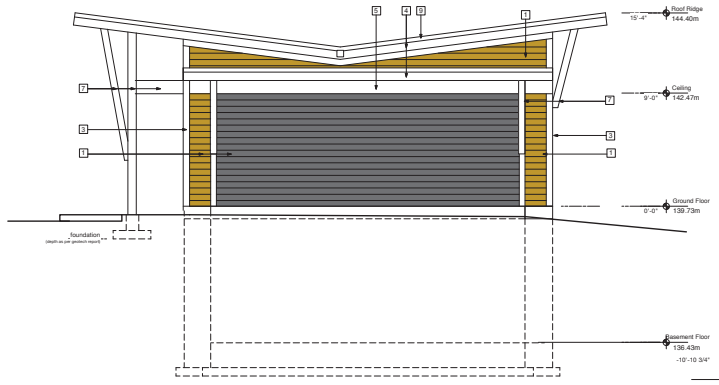
Date: September 2018
Drawn:
Checked:
Scale:

Project:
Uplands Place Apartments
4850 Cedar Ridge Place
Nanaimo, BC
Highstreet Ventures Inc.
778-484-5547

Drawing Title:
Building D Elevations + Sections

Sheet No. / Drawing No.: **A.05.2**

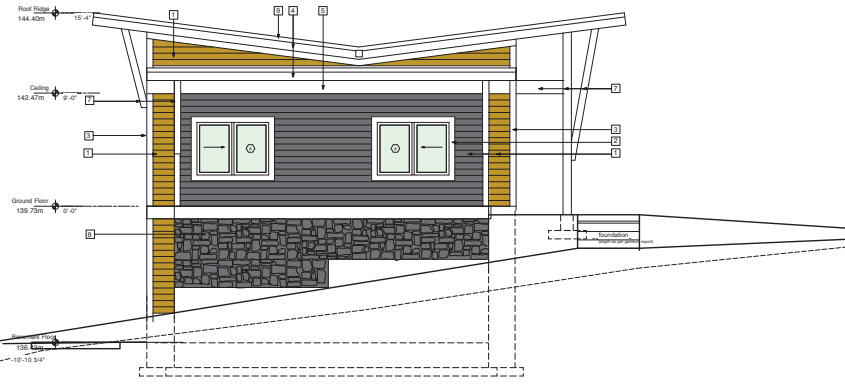




1 Community Building North Elevation
1/4" = 1'-0"

Exterior Finishes Materials Legend

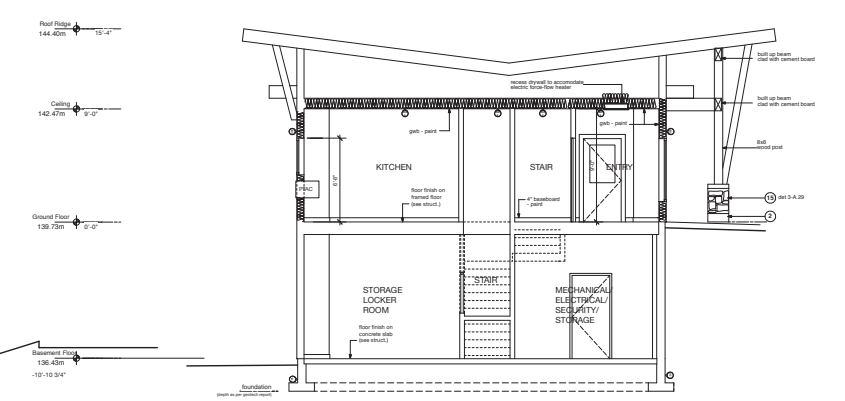
- 1 CEMENT BOARD SIDING - (refer to A05.3 for products / colours)
- 2 TRIM BOARDS (window) 1"x12" - FIBRE CEMENT BOARD - SNOW
- 3 TRIM BOARDS (vertical) 1"x6" - FIBRE CEMENT BOARD - SNOW
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- 7 CULTURED STONE - BLACK RUNDLE - COUNTRY LEDGESTONE
- 8 FLASHING and DOWNSPOUTS - FIRE FINISHED ALUMINUM - WHITE
- 9 SOFFIT - ALLURA VENTED CEDAR - CEDAR
- 10 WALL MOUNTED LUMINAIRE - see electrical



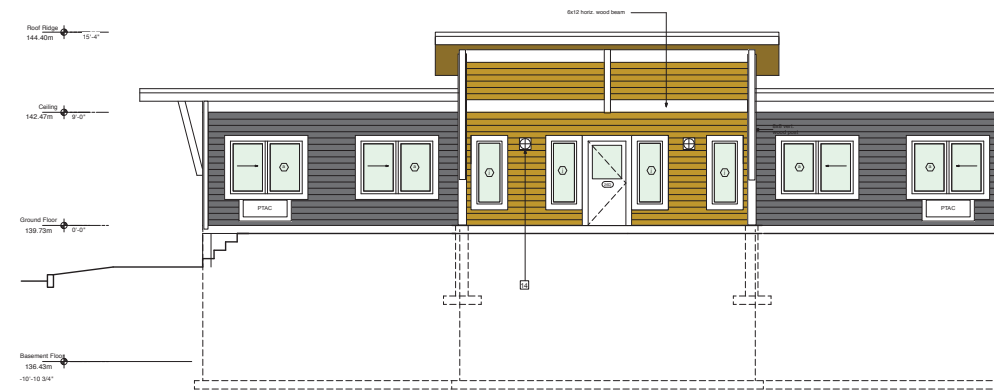
2 Community Building South Elevation
1/4" = 1'-0"



3 Community Building West Elevation
1/4" = 1'-0"



5 Community Building Section
1/4" = 1'-0"



4 Community Building East Elevation
1/4" = 1'-0"

Exterior Finishes Materials Legend - Siding Colours

- Vertical smooth-panel siding (straight edge)
Product: ALLURA SMOOTH - "SNOW"
- Horizontal cedar texture siding (straight edge)
8-1/4" panel (7" exposure)
Product: ALLURA CEDAR LAP - "CEDAR"
- Horizontal cedar texture siding (straight edge)
8-1/4" panel (7" exposure)
Product: ALLURA - "KENDALL CHARCOAL"
- Cultured stone cladding
Product: BLACK RUNDLE ALPINE LEDGESTONE

Note 1: Trim is white unless otherwise noted. Refer to A03.2 for additional details
 Note 2: Soffits are ALLURA CEDAR ("Cedar" Colour) w/ colour-matched vent strip
 Refer to A03.2 for additional details
 Note 3: SBS roofing to be Dark Gray

Codes & Standards:
 Conform to latest edition
 BC Building Code
Drawings:
 Contractors shall verify and be responsible
 for all dimensions on the job site and shall
 inform the Architect of any discrepancies
 shown on the drawings.

notes:

Rev. No.	DATE	DESCRIPTION
6	May 07 2019	DP ReSubmission
5	Jan 11 2019	Issued for Tender
4	Nov 29 2018	BP Application
3	Nov 21 2018	review
2	Nov 07 2018	review
1	Sept 14 2018	DP Application

FISHER ARCHITECT
 608-218 Sherbrooke Street
 Vancouver, B.C. V6B 2V2
 604-681-5241

Date: September 2018
 Drawn: [Signature]
 Checked: [Signature]
 Scale:

Project:
Uplands Place Apartments
 4850 Cedar Ridge Place
 Nanaimo, BC

Client:
Hightreet Ventures Inc.
 778-484-5547

Drawing Title:
Building D
Coloured Elevations
+ Sections

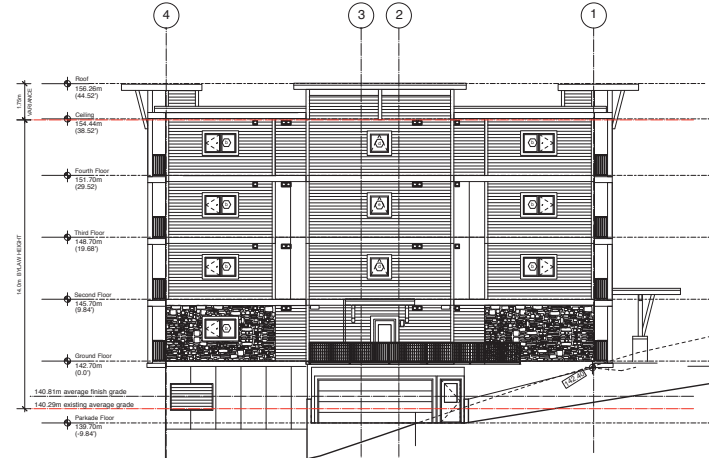
Sheet No.: **A.05.3**

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 DP 11.4
 2019-MAY-09

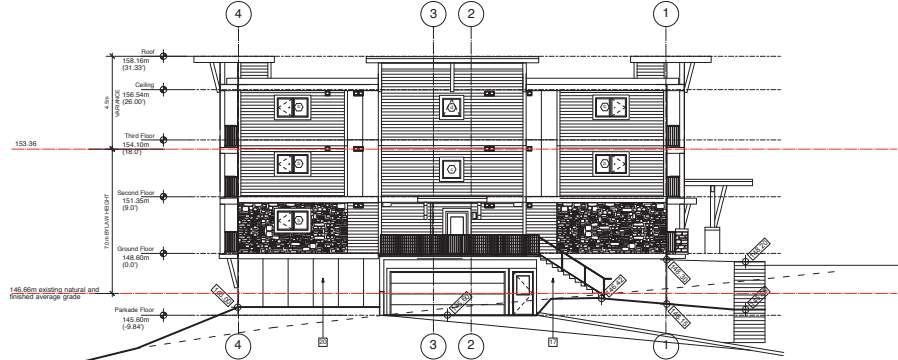
PROPOSED BUILDING HEIGHT VARIANCES
Buildings A, B and C

Codes & Standards:
Conform to latest edition
BC Building Code
Dimensions:
Contractor shall verify and be responsible for all dimensions on the job site and shall inform the Architect of any discrepancies shown on the drawing.

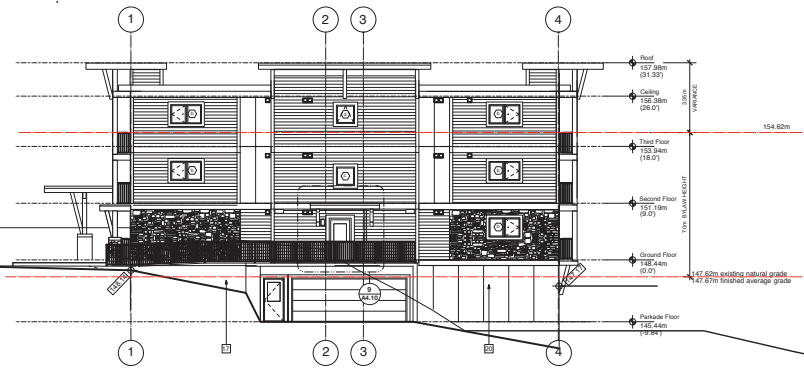
notes:



1 Building A - East Elevation
1/8"=1'-0"



2 Building B - South Elevation
1/8"=1'-0"



3 Building C - Southwest Elevation
1/8"=1'-0"

Rev. No.	DATE	DESCRIPTION
1	May 30 2019	DP Resubmission

Design Intent: This design and drawing is the exclusive property of W.D. Fisher Architect and shall not be used for any purpose without the written consent of W.D. Fisher Architect. The drawings are for the use of the contractor and shall not be used for any other purpose.

W.D. FISHER ARCHITECT
608-318 Huron Street
Vancouver, B.C. V6B 2V2
504-681-5741

Date: Oct 30, 2017
Drawn:
Checked:
Scale: SCALE: 1:250

Project: Lakeview Terrace Apartments
4800 Cedar Ridge Place
Nanaimo, BC
Highest Ventures Inc.
775-685-6557

Building A, B, C
Height Variance Diagram

Sheet No. **A.01.04**

ATTACHMENT E
BUILDING RENDERINGS





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2019-MAY-09
CAROL PLANNING



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DP1114
V-00
Current Planning





RECEIVED
DP-1114
2019-MAY-09
CURRENT PLANNING

ATTACHMENT F LANDSCAPE PLAN AND DETAILS



SITE FEATURES LEGEND	
	EXISTING TREES TO REMAIN PROTECTED: Existing tree to remain protected in accordance with City of Nanaimo Tree Protection Bylaw (typ). Provide 72hrs notice for tree protection review by Arbotanal and Landscape Architect prior to commencing construction.
	PROPOSED TREE: Provide growing medium at 0.9m depth and 12m ² area per tree. For off-site trees, locate 12m ² of space centered to tree locations within boulevard. For on-site trees, center 12m ² of growing medium around each new tree (typ).
	PROPOSED SHRUB PLANTINGS: Provide growing medium at 0.45m depth, complete in area hatched as shown. Provide 3" of composted organic bark mulch (dark brown) through extents of bed, installed as per Canadian Landscape Standards.
	PROPOSED LAWN: Provide new sod lawn complete with 150mm of import growing medium. Sod to be all purpose 'Sun/Shade' mix or approved alternate. Undercourse of lawn to drain to raingardens where available.
	RAIN GARDEN: Rain gardens to provide on-site detention. To be coordinated with civil engineer.
	COMMUNITY GARDENS (URBAN AGRICULTURE): Contractor to submit shop drawings from structural engineer indicating foundation design, finishes, materials, and reinforcing before installation.
	RECLAMATION SEED MIX: Ensure that planted areas adjacent to existing vegetation to be blended with 'Quick Grow Reclamation Mix' covered by Premier Pacific Seeds or approved alternate.
	TABLE AND CHAIRS: Provide shop submittal prior to purchase. Install as per specifications.
	POST LIGHTS: To be coordinated with Electrical Engineer, away from trees in accordance with TAC Standards.
	ECO-GARBAGE PICK-UP: Requires locations shown for truck turning.
	PROPOSED BENCH: Provide shop submittal prior to purchase. Install as per specifications.
	PROPOSED BIKE RACK: Provide shop submittal prior to purchase. Install as per specifications.
	RETAINING WALL: Refer to civil drawings.
	BLAST WALL: Refer to civil drawings.



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DP 1114
2019-MAY-30
OUTRAMP PLANNING

LAKEVIEW TERRACE - HIGHSTREET VENTURES
4800 CEDAR RIDGE PLACE, NANAIMO, BC
SITE PLAN - OVERALL

DWG No:
L-05A
8 OF 21

No.	Y	M	D	REVISION	BY	CHKD
6	19/10/08			RE-ISSUE FOR DEVELOPMENT PERMIT	LN	JL
5	19/04/22			RE-ISSUE FOR DEVELOPMENT PERMIT	LN	JL
4	18/1/28			ISSUE FOR BUILDING PERMIT	LN	JL



wsp
LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING

PROJ #: 18M-00977-00
MR:
SCALE: 1:400
DRAWN BY: LN

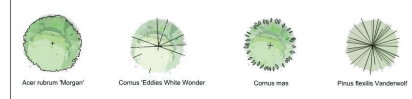


PLANTING LEGEND

- EXISTING TREES TO REMAIN PROTECTED:**
Existing tree to remain protected in accordance with City of Nanaimo Tree Protection Bylaw (yp). Provide 72hrs notice for tree protection review by Arbotist and Landscape Architect prior to commencing construction.
- PROPOSED TREE:**
Provide growing medium at 0.9m depth and 12m² area per tree. For off-site trees, locate 12m² of space centered to tree locations within boulevard. For on-site trees, center 12m² of growing medium around each new tree (yp).
- PROPOSED SHRUB PLANTINGS:**
Provide growing medium at 0.45m depth, complete in area hatched as shown. Provide 3" of composted organic bark mulch (dark brown) through extents of bed, installed as per Canadian Landscape Standards.
- PROPOSED LAWN:**
Provide new sod lawn complete with 150mm of import growing medium. Sod to be all purpose 'Sun/Shade' mix or approved alternate. Undercourse of lawn to drain to raingardens where available.
- RAIN GARDEN:**
Rain gardens to provide on-site detention. To be coordinated with civil engineer.
- COMMUNITY GARDENS (URBAN AGRICULTURE):**
Contractor to submit shop drawings from structural engineer indicating foundation design, finishes, materials, and reinforcing before installation.
- RECLAMATION SEED MIX:**
Ensure that planted areas adjacent to existing vegetation to be blended with 'Quick Grow Reclamation Mix' covered by Premier Pacific Seeds or approved alternate.

PLANT SCHEDULE

PLANT	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NOTES
TREES						
19		<i>Acer rubrum 'Morgan'</i>	Morgan Red Maple	B&B	AS SHOWN	
12		<i>Acer palmatum 'Sango Kaku'</i>	Coral bark maple	B&B	AS SHOWN	
13		<i>Cornus 'Eddies White Wonder'</i>	Eddies White Wonder	B&B	AS SHOWN	
14		<i>Cornus mas</i>	Comelian Cherry Dogwood	B&B	AS SHOWN	
11		<i>Pinus banksia 'Vanderwolf'</i>	Vanderwolf's pyramid linden pine	B&B	AS SHOWN	
SHRUBS						
A	82	<i>Aemolanchia alabala</i>	Servicberry	K2 Pot	1800mm o.c.	
D	180	<i>Cornus sericea 'Cardinal'</i>	Cardinal dogwood	K2 Pot	1500mm o.c.	
F	96	<i>Cornus sericea 'Flavirama'</i>	Flavirama dogwood	K2 Pot	1500mm o.c.	
H	163	<i>Hidradiscus discolor</i>	Oceanspray	K2 Pot	1500mm o.c.	
J	6	<i>Hydrangea macrophylla</i>	Hydrangea	K2 Pot	1200mm o.c.	
K	32	<i>Pieris japonica</i>	Japanese pieris	K2 Pot	1200mm o.c.	
M	401	<i>Polystichum mountain</i>	Scaevola	K2 Pot	750mm o.c.	
W	41	<i>Salix purpurea</i>	Arclic willow	K2 Pot	1500mm o.c.	
T	481	<i>Pinus taeda 'Oto Linnear'</i>	Oto Linnear	B&B, 1.2m height, full	750mm o.c.	
N	105	<i>Viburnum dentat</i>	David viburnum	K2 Pot	1000mm o.c.	
R	26	<i>Rhododendron catawbiense 'aburn'</i>	Catawbiense Aburn	K2 Pot	750mm o.c.	
PERENNIALS						
X	874	Astilbe	Astilbe	#1 Pot	300mm o.c.	
Y	43	<i>Choisya ternata</i>	Mock orange	#1 Pot	900mm o.c.	
E	579	<i>Erica carnea</i>	Winter flowering heather	#1 Pot	600mm o.c.	
O	359	Hosta	Hosta	#1 Pot	600mm o.c.	
U	544	<i>Lavandula angustifolia</i>	Lavender	#1 Pot	600mm o.c.	
G	350	<i>Rosa gymnocarpa</i>	Baldhip rose	#1 Pot	750mm o.c.	
B	289	<i>Rudbeckia hirta</i>	Black-eyed susan	#1 Pot	600mm o.c.	
S	654	<i>Gaultheria athon</i>	Sisal	#1 Pot	750mm o.c.	
Z	207	<i>Phlox subulata</i>	Phlox	#1 Pot	450mm o.c.	
V	188	<i>Veronica spicata</i>	Spike speedwell	#1 Pot	450mm o.c.	
J	233	<i>Carex obnupta</i>	Stough Sedge	#1 Pot	450mm o.c.	
C	208	<i>Typha latifolia</i>	Broadleaf Cattail	K2 Pot	750mm o.c.	



No.	Y	M	D	REVISION	BY	CHKD
6	19	05	08	RE-ISSUE FOR DEVELOPMENT PERMIT	LN	JL
5	19	04	22	RE-ISSUE FOR DEVELOPMENT PERMIT	LN	JL
4	18	11	28	ISSUE FOR BUILDING PERMIT	LN	JL



PROJ #: 18M-00977-00
 MR: _____
 SCALE: 1:400
 DRAWN BY: LN

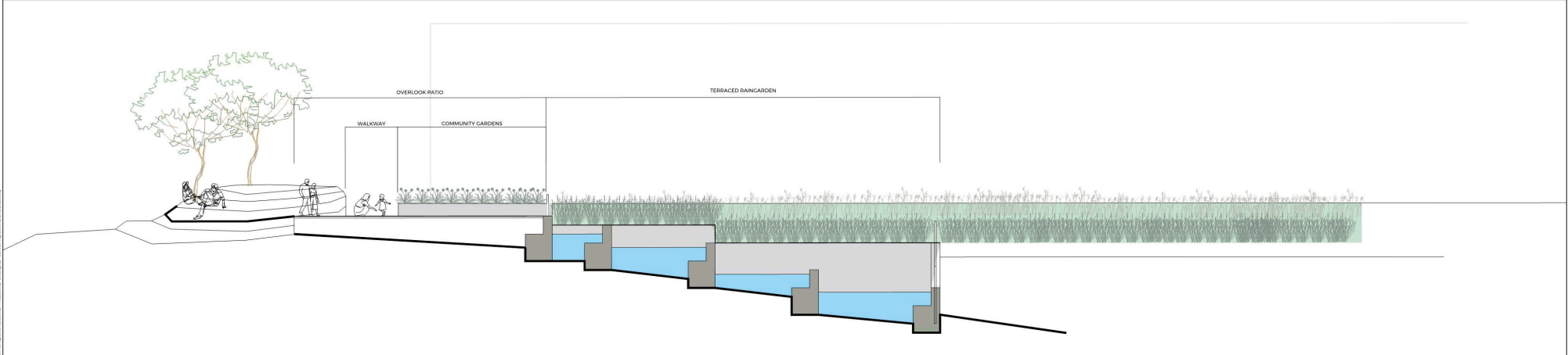
LAKEVIEW TERRACE - HIGHSTREET VENTURES
 4800 CEDAR RIDGE PLACE, NANAIMO, BC
 PLANTING PLAN - OVERALL

DWG No:
L-06A
 13 OF 21

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1 RAIN GARDEN PLAN
LD-04 SCALE: 1:100



2 RAIN GARDEN SECTION
LD-04 SCALE: 1:100

6	19/05/08	RE-ISSUE FOR DEVELOPMENT PERMIT	LN	JL	
5	19/04/22	RE-ISSUE FOR DEVELOPMENT PERMIT	LN	JL	
4	18/11/28	ISSUE FOR BUILDING PERMIT	LN	JL	
No.	Y	M	D	REVISION	BY
					CHKD



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2019-MAY-30

Current Planning

PROJ #: 18M-00977-00

MR: _____

SCALE: _____

DRAWN BY: LN

LAKEVIEW TERRACE - HIGHSTREET VENTURES

4800 CEDAR RIDGE PLACE, NANAIMO, BC

LANDSCAPE DETAILS 3

DWG No.

LD-04

20 OF 21



1 CABION WALL PRECEDENT IMAGE
LD-04 SCALE: N.T.S.

6	19/05/08	RE-ISSUE FOR DEVELOPMENT PERMIT	LN	JL	
5	19/04/22	RE-ISSUE FOR DEVELOPMENT PERMIT	LN	JL	
4	18/11/28	ISSUE FOR BUILDING PERMIT	LN	JL	
No.	Y	M	D	REVISION	BY CHKD



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2019-MAY-30

Current Planning

PROJ # : 18M-00977-00
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SCALE : _____
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LAKEVIEW TERRACE - HIGHSTREET VENTURES
4800 CEDAR RIDGE PLACE, NANAIMO, BC
LANDSCAPE DETAILS 5

DWG No.
LD-05
21 OF 21

ATTACHMENT G
SCHEDULE D - AMENITY REQUIREMENTS FOR
ADDITIONAL DENSITY

SCHEDULE D			
Amenity Requirements for Additional Density			
Category 1: Site Selection (10 points required)			
	Amenity	Points	Points Met
A	The proposed development is located on a brownfield site.	5	0
B	The proposed development is located on an existing street where the location does not require any new infrastructure such as storms drains, curbs or sidewalks.	3	3
C	The proposed development is located within 200m of a park or trail network.	1	1
D	The proposed development is located within 400m of any of the following: -Retail store; -Daycare facility; -Nanaimo Regional District transit bus stop; -Any PRC (Parks, Recreation and Culture) Zoned property; and / or -ICS-1 (Community Service One) zoned property .	1 point each	5
E	The proposed development will add any of the following amenities on the site, or immediately adjacent to the site, as part of the proposed development: -Retail store or public market; -Daycare facility; -Nanaimo Regional District transit bus stop; -Any PRC (Parks, Recreation and Culture) Zoned property; -ICS-1 (Community Service One) zoned property; and/ or -Public art .	1 point each	1
		TOTAL	20
		Minimum	10
		Satisfied	YES

Category 2: Retention and Restoration of Natural Features (8 points required)			
	Amenity	Points	Points Met
A	The proposed development includes an Environmentally Sensitive Area (ESA), as identified on Map 2 of the City's Official Community Plan and includes at least a 15m natural area buffer around the ESA.	2	0
B	The property includes the retention of natural vegetation, trees, shrubs, and under storey for a contiguous area that is equal to or greater than 15% of the property area, exclusive of the required watercourse leavestrip or environmentally sensitive area buffer.	3	3
C	The proposed development includes at least 50% retention of natural state.	1	1
D	The subject property includes at least one significant tree and the proposed development will not result in the loss of any trees included on the list of significant trees within the City of Nanaimo's Management and Protection of Trees Bylaw.	2	1
E	The proposed development includes street trees.	1	1
F	After re-planting, the proposed development does not result in a net loss of trees with a caliper greater than 6cm.	1	0
G	Post development, the total amount of trees on the property, or adjacent road right- of-way or public space is at least 20% more than the number of trees on the property before development.	2	0
H	Restore a minimum of 50% of the site area (excluding the building footprint) by maintaining pervious surfaces.	3	0
I	The development includes permanent educational signage or display(s) regarding the protected or planted plants, trees, animal habitat or other natural features on the site.	1	1
		TOTAL	16
		Minimum	8
		Satisfied	NO

Category 3: Parking and Sustainable Transportation (10 points required)			
	Amenity	Points	Points Met
A	Long term protected bicycle storage is provided and shower and change room facilities are provided to accommodate building employees where applicable.	3	0
B	At least one parking space is clearly marked and designated for the exclusive use of a vehicle belonging to a car share or car co-op.	1	1
C	The developer purchases a new car and gifts the car to a recognized car share provider for the inclusion of a car share space on the subject property.	4	4
D	The parking area within the proposed development includes at least one electric vehicle charging station.	1	1
E	A minimum of 80% of the total parking area is located underground or in a parking structure incorporated into the design of the building.	4	0

F	The proposed development includes covered and designated parking spaces for a motorized scooter or plug-in for an electronic bicycle or electric scooter, or a designated motorcycle parking space to accommodate the following number of spaces: a) <input checked="" type="checkbox"/> multiple family residential developments: 1 motorized scooter or motorcycle space per 15 dwelling units; and b) non-residential uses: 1 motorized scooter or motorcycle space per 600m2 of Gross Floor Area for the first 5000m2 plus one space per 1500m2 of additional Gross Floor Area.; and c) a minimum of one electronic plug-in is provided to accommodate at least one electric scooter or electronic bicycle.	2	2
G	A pedestrian network is included in the proposed development that connects the buildings on the site with the public road right-of-way and, the pedestrian network from the adjacent site to which there is access by perpetual easement or right-of-way, provided the City agrees to accept the right-of-way.	2	2
H	Parking does not exceed minimum parking requirements within the City's Development Parking Regulations Bylaw.	2	2
I	The development includes signage or display(s) regarding sustainable transportation alternatives available on site or within the immediate area.	1	1
TOTAL		20	13
Minimum			10
Satisfied			YES

Category 4: Building Materials (8 points required)			
	Amenity	Points	Points Met
A	Wood is the primary building material.	1	1
B	The proposed development uses salvaged, refurbished or reused materials; the sum of which constitutes at least 10% of the total value of materials on the project.	2	0
C	At least 50% of all wood products used in construction are certified by the Forest Stewardship Council (FSC) Canada.	3	3
D	The proposed development uses materials with recycled content such that the sum of the postconsumer recycled material constitutes at least 25%, based on costs, of the total value of the materials in the project.	2	2
E	The project developer has submitted a construction and waste management plan that, at a minimum, identifies the materials to be diverted from disposal and whether the materials will be sorted onsite or comingled.	2	2
F	At least 75% of the materials used in construction are renewable resources.	2	2
G	The property includes an existing building and at least 75% of existing building structure or shell is retained.	3	0
H	The development includes permanent educational signage or display(s) regarding the sustainable use of building materials used during construction of the project.	1	1
TOTAL		16	11
Minimum			8
Satisfied			YES

Category 5: Energy Management (6 points required)			
	Amenity	Points	Points Met
A	The project developer has provided all of the following: a) letter from an mechanical engineer or equivalent consultant stating that the project exceeds the ASH RAE 90.1 2010 Energy Standard by 5% or more; and b) <input checked="" type="checkbox"/> letter of credit for 1 % of construction costs, prior to the issuance of a building permit, to be returned upon successful provision of all of the above to the satisfaction of the Manager of Building Inspections or designate.	5	5
B	The proposed developed is certified as a PassiveHouse by the Passive House Institute and meets the following standards: Yearly heating demand 15 kWh or peak heat demand s 10 W /m2 Yearly cooling demand 15 kWh Building air tightness 0.6 ACH @50 Excess temp frequency 10% Primary energy demand 120 kWh	10	0
B	The development includes permanent education signage or display(s) regarding sustainable energy management practices used on site.	1	1
TOTAL		16	6
Minimum			6
Satisfied			YES

Category 6: Water Management (8 points required)			
	Amenity	Points	Points Met
A	At least 50% of the property is covered with a permeable surface area which may include a green roof.	2	0

B	The proposed buildings on the property include plumbing features which will use 35% less water than the BC Building Code standard.	2	2
C	A green roof is installed to a minimum 30% of the roof area.	3	0
D	A living wall is installed to cover at least 10% of the total available wall area for the proposed project.	2	0
E	A non-potable irrigation system is installed and used for all on-site irrigation.	3	0
F	A water efficient irrigation system (such as drip) is installed.	1	1
G	The proposed development includes a rain garden, cistern, bioswale or storm water retention pond on the property.	2	2
H	The development site includes permanent educational signage or a display(s) regarding sustainable water management practices used on site.	1	1
TOTAL		16	6
Minimum			8
Satisfied			NO

Category 7: Social and Cultural Sustainability (10 points required)

	Amenity	Points	Points Met
A	At least 10% of the residential dwelling units within a building are no greater than 29m2 in area.	1	0
B	At least 10% of the residential dwelling units meet all the accessibility requirements within the British Columbia Building Code 2012 (BCBC) or any subsequent Act or Acts which may be enacted in substitution therefore.	3	0
C	The developer agrees to enter into a Housing Agreement with the City of Nanaimo to ensure that at least 50% of all residential units shall not be stratified or sold independently for at least ten years after the building receives final occupancy.	3	0
D	The developer enters into a Housing Agreement with the City of Nanaimo to ensure that at least 10% of residential units sold will be sold for at least 20% less than the medium sell price for condos (apartment), as provided by the Vancouver Island Real Estate Board for the current year, and cannot be sold for greater than the original sale price for a period of ten years. The Gross Floor Area of the units provided for within the Housing Agreement must be greater than 29m2 in area.	4	0
E	The developer enters into a Housing Agreement with the City of Nanaimo to ensure that where the residential units are subdivided under the Strata Property Act or otherwise sold separately, the strata corporation will not place restrictions which prevent the rental of individual residential units.	2	0
F	A permanent public art feature is included on the site in accordance with the City's Community Plan for Public Art.	2	0
G	A children's play area is provided.	1	0
H	A dedicated garden space is provided to building residents and/or members of the community in which users are given the opportunity to garden.	1	1
I	The development site includes permanent heritage interpretive signage or heritage building elements where relevant.	1	0
J	The development protects and rehabilitates heritage buildings or structures, archaeological resources and cultural landscapes considered to have historical value by the City.	3	0
TOTAL		21	1
Minimum			10
Satisfied			NO

MIN. TIER 1 OVERALL TOTAL

3

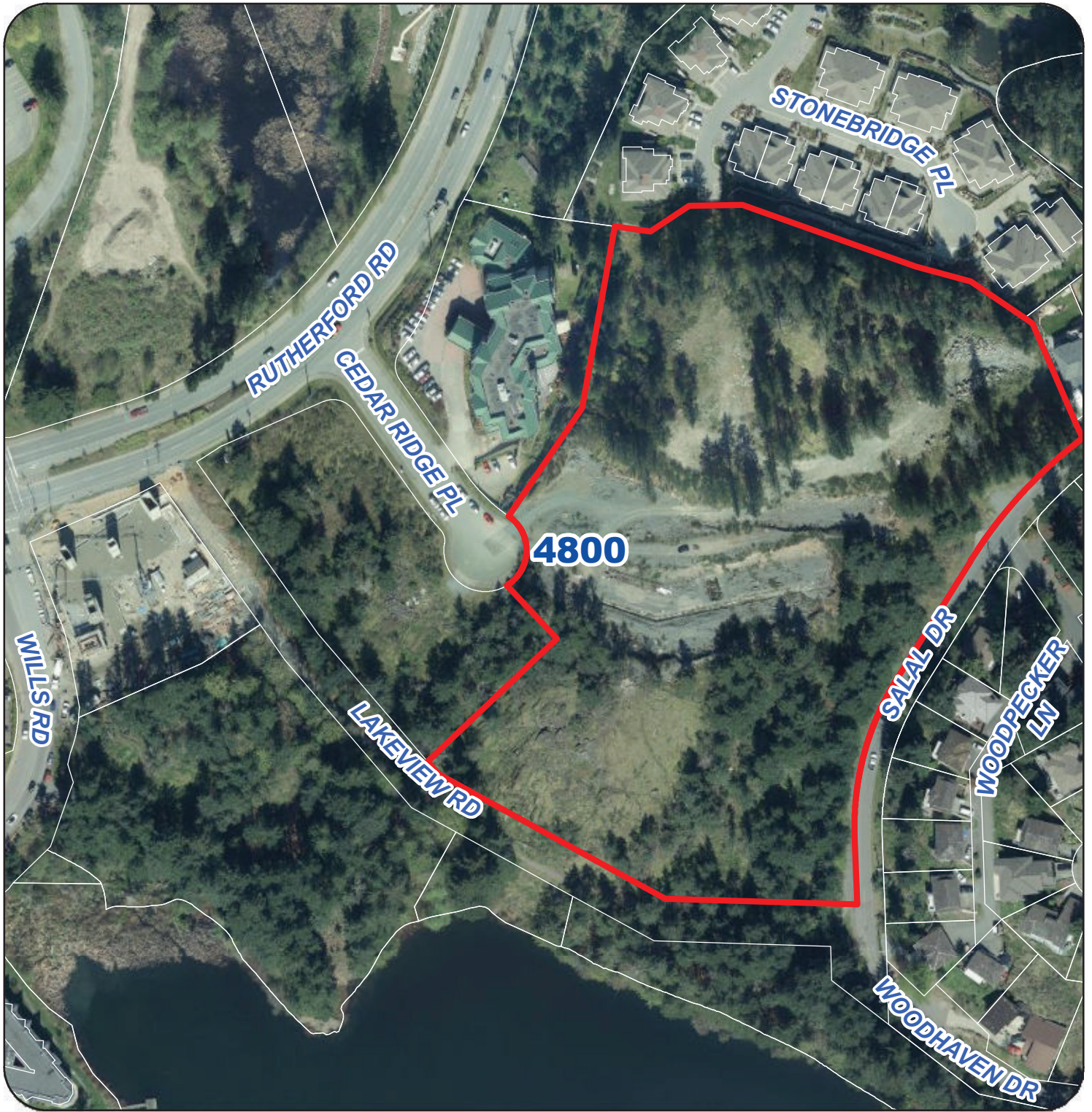
4

MIN. TIER 2 OVERALL TOTAL

60

54

ATTACHMENT H
AERIAL PHOTO



DEVELOPMENT PERMIT NO. DP001114